

AGENDA
WYOMING CITY COUNCIL MEETING
CITY COUNCIL CHAMBERS
MONDAY, AUGUST 1, 2016, 7:00 P.M.

- 1) Call to Order**
- 2) Invocation** – Pastor Wayne Ondersma, The Pier Church
- 3) Pledge of Allegiance**
- 4) Roll Call**
- 5) Student Recognition**
- 6) Approval of Minutes**
From the Regular Meeting of July 18, 2016
- 7) Approval of Agenda**
- 8) Public Hearings**
- 9) Public Comment on Agenda Items** (3 minute limit per person)
- 10) Presentations and Proclamations**
 - a) Presentations
 - b) Proclamations
 1. National Night Out 2016 – August 2, 2016
- 11) Petitions and Communications**
 - a) Petitions
 - b) Communications
- 12) Reports from City Officers**
 - a) From City Council
 - b) From City Manager
- 13) Budget Amendments**
 - a) Budget Amendments No. 7 through 15 – To Reappropriate Monies for Open Purchase Orders, Capital Outlay, Uncompleted Projects and Other Encumbrances from the 2015-2016 Fiscal Year to the 2016-2017 Fiscal Year
 - b) Budget Amendment No. 16 – To Appropriate \$39,414.83 of Budgetary Authority and Recognize the Associated Revenue to Provide Funding for the Balance of Expenditures Related to the Community Development Block Grant Year 2016
- 14) Consent Agenda**
- 15) Resolutions**
 - a) To Set a Public Hearing Regarding the Edward Byrne Memorial Justice Assistance Grant (August 15, 2016 at 7:01 p.m.)
- 16) Award of Bids, Contracts, Purchases, and Renewal of Bids and Contracts**
 - b) To Award a Contract for the 2016 Fire Station No. 4 Parking Lot Resurfacing Project
 - c) To Award a Contract for the 28 West Place Street and Utility Improvement Project – Phase I (Budget Amendment No. 17)
 - d) To Authorize the Mayor and City Clerk to Execute an Agreement with Progressive AE for the Burton Street Corridor Study from Burlingame Avenue to Clyde Park Avenue (Budget Amendment No. 6)
 - e) To Accept a Proposal from Johnson & Anderson to Conduct a Reliability Study of the Wyoming Water System

- f) To Accept a Proposal from The Architectural Group to Provide Design Services and Specifications for the Water Treatment Plant North Treatment Facility Roof Replacement
- g) To Accept a Quote from Perkin Elmer for an Inductively Coupled Plasma Optical Emission Spectrometer (ICP)
- h) To Accept a Quote from HECO Industrial Service Groups to Repair One Transfer Pump Motor at the Water Treatment Plant and to Authorize the Mayor and City Clerk to Execute the Agreement
- i) To Accept a Proposal from The Architectural Group to Provide Design Services and Specifications for the Clean Water Plant Maintenance Shop Remodel Project
- j) For Award of Bid
 - 1. Waterworks Fittings

17) Ordinances

11-16 To Amend Article 11 of Chapter 90 of the Code of the City of Wyoming (Form Based Code) (Final Reading)

18) Informational Material

19) Acknowledgment of Visitors

20) Closed Session (as necessary)

21) Adjournment

PROCLAMATION

NATIONAL NIGHT OUT 2016

August 2, 2016

WHEREAS, the National Association of Town Watch is sponsoring a special, coast-to-coast community crime prevention project on the evening of August 2, 2016 called "National Night Out"; and

WHEREAS, it is essential that all citizens in the City of Wyoming be aware of the importance of crime prevention programs and the positive impact that their participation can have on reducing crime in our neighborhoods; and

WHEREAS, "National Night Out" provides an opportunity for the City of Wyoming to join forces with hundreds of other communities across the country in support of safer neighborhoods and to demonstrate the success of cooperative crime prevention efforts; and

WHEREAS, we the City of Wyoming, thank our Public Safety Service providers who have continued to demonstrate their dedication in the face of most extreme circumstances; and

WHEREAS, neighborhood spirit and cooperation is the theme of the "National Night Out" project and is also the key ingredient in helping the Wyoming Police Department to fight crime; and

NOW, THEREFORE, I, JACK POLL, Mayor of the City of Wyoming, Michigan do hereby call upon all the citizens of the City of Wyoming to join the National Association of Town Watch in supporting and participating in "National Night Out" on Tuesday, August 2, 2016.

BE IT FURTHER RESOLVED THAT I, JACK A. POLL, Mayor of the City of Wyoming, Michigan do hereby proclaim Tuesday, August 2, 2016 as:

NATIONAL NIGHT OUT

in the City of Wyoming.

JACK POLL, MAYOR
City of Wyoming, Michigan

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: **August 1, 2016**

Budget Amendment Number 007

To the Wyoming City Council:

A budget increase of **\$ 207,333.72** for the General Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		<u> </u>	<u> </u>	<u>207,333.72</u>

Recommended: Kate Berglund
Senior Accountant

 Heidi A. Salomon
Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

City of Wyoming
Schedule of Reappropriations
 To the 2016 - 2017 Fiscal Year
For The General Fund
 Budget Amendment Number 007

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>	
101-136-13600-984.000	District Court	State Designated Fund		57,413.37	
101-136-15100-707.000	District Court-Probation	Salaries - Temporary	7,525.08		
101-136-15100-727.000		Office Supplies	3,827.89		
101-540.001		State Grant Revenue Veterens Treatment Court Grant	(11,352.97)	-	
101-258-25800-984.017	Information Technology	Capital Outlay - Website Design PO #2016-402 Redhead Design Studios		22,031.25	
101-305-30500-973.000	Police Administration	Capital Outlay - 2015 Byrne JAG Grant	11,272.00		
101-507.000		Federal Grant Revenue - JAG BYRNE	(11,272.00)	-	
101-305-30610-975.000	Police - Building	Capital Outlay PO #2016-0872 Resol #25498 Admin Copy Machine		3,705.90	
101-305-31000-740.000	Police - Detective Bureau	Operating Supplies PO #2016-0658 MET Surface 3 tablet		1,419.84	
101-305-31200-973.013	Police Forensic Science Unit	Capital Outlay-State Grant Funds Drug Testing Revenue		3,952.15	
101-305-31500-930.000	Police - Patrol	Repairs and Maintenance PO #2016-0840 L-3 In-Car Video Camera Equipment		33,353.00	
101-305-31505-709.000	Police	Salaries - Uniform O.T.	14,690.82		
101-305-31505-709.010	OHSP Grant - Safety Belts	Salaries - Uniform O.T. Admin	8,727.00		
101-305-31505-715.000		FICA	1,877.13		
101-305-31505-718.000		Pension	7,073.08		
101-305-31505-719.000		Workers Comp. Insurance	988.94		
101-305-31505-956.520		Other Services - Grand Rapids Dist.	18,381.61		
101-305-31505-956.521		Other Services - Grandville Dist.	11,744.81		
101-305-31505-956.522		Other Services - Kentwood Dist.	18,025.06		
101-305-31505-956.525		Other Services - Kent County Dist.	19,715.85		
101-305-31505-956.527		Other Services - Rockford Dist.	5,348.17		
101-505.002		Federal Grant Revenue - OHSP - Safety Belts	(106,572.47)	-	
101-305-31700-740.000		Police Senior Volunteer	Operating Supplies PO #2016-0817 RSVP Portable Printer		345.63
101-305-32100-860.000		Police - Training Act 302	Travel and Training		21,037.88
101-305-32500-984.026		Police Communications/Dispatch	Capital Outlay PD Repeater Television screens to display CAD info		606.75
101-305-32500-987.000	Capital Outlay Equipment Dispatch transition costs-Tower repairs, mobile radio costs, programming, equipment removal			20,643.86	

August 1, 2016

City of Wyoming
Schedule of Reappropriations
To the 2016 - 2017 Fiscal Year
For The General Fund
Budget Amendment Number 007

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
101-337-33900-956.009	Fire - Fire Fighting	Other Services - Fire Dept Programs		
		BA #048 - EMT Training Donation from Metro Health		6,713.41
101-337-33900-956.016		Other Services - Comm Safety Day		
		Safe City Donations		1,452.80
101-337-33900-985.000		Capital Outlay - Vehicles		
		PO #2016-0865 CDW-G Toughbooks and peripherals		1,476.26
101-337-33900-986.339		Capital Outlay - SCBA		
		PO #2016-0649 SCBA Equipment		32,683.72
101-753-75300-956.000	Community Outreach Programs	Other Services		497.90
		CEC Music & More Expenses		
				<u>207,333.72</u>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

Budget Amendment Number 008

To the Wyoming City Council:

A budget increase of 127,808.77 for the Parks and Recreation Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		_____	_____	<u>127,808.77</u>

Recommended: Kate Balfour
Senior Accountant

Hudi A. Isakson
Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
 To the 2016 - 2017 Fiscal Year
For The Parks and Recreation Fund
 Budget Amendment Number 008

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
208-752-75200-801.006	Administration	Professional Services Educational and publications related expenses for millage		5,000.00
208-752-75600-956.010	Facilities	Other Services - Dog Park		7,255.77
208-752-75600-975.112		Capital Outlay - Lemery Park Improvements PO #2016-0336 Racquet Sports		33,925.00
208-752-75600-975.128		Capital Outlay - Jackson Park PO #2016-0336 Racquet Sports	30,285.00	
		Balance in Account	215.00	30,500.00
208-752-75800-975.225	Senior Center	Capital Outlay - Senior Center Improvement PO #2016-0867 Security Corp Surveillance System	32,294.46	
		Balance in Account	18,833.54	51,128.00
				<u>127,808.77</u>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

Budget Amendment Number 009

To the Wyoming City Council:

A budget increase of 55,000.00 for the Solid Waste Disposal Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		_____	_____	<u>55,000.00</u>

Recommended: Kate Balyont
Senior Accountant

Huda S. Ibrahim
Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
To the 2016 - 2017 Fiscal Year
For The Solid Waste Disposal Fund
Budget Amendment Number 009

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
230-441-44300-956.000	Public Works	Other Services		
	Yard Waste Disposal	PO #2016-0701 Cordes, Inc - Spoils Removal		55,000.00
				<u>55,000.00</u>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

Budget Amendment Number 010

To the Wyoming City Council:

A budget increase of _____ - for the Community Development Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		_____	_____	-
		=====	=====	

Recommended: Kate Baer
Senior Accountant

Hud A. Jackson
Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
 To the 2016 - 2017 Fiscal Year
For The Community Development Fund
 Budget Amendment Number 010

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
256-000-00015-531.001	Grant 2015	Federal Grant Revenue	(12,913.91)	
256-400-69215-956.029	CDBG Activities 2015	Other Services Demolition	5,899.00	
256-400-69215-956.045		Other Services Rehab Loans	(5,350.00)	
256-400-69215-956.113		Other Services Pinery Park Improvements	12,364.91	-
256-000-00016-531.001	Grant 2016	Federal Grant Revenue	(81,004.34)	
256-400-69116-706.000	Rehabilitation 2016	Salaries	28,471.63	
256-400-69216-956.029	CDBG Activities 2016	Other Services Demolition	2,500.00	
256-400-69216-956.045		Other Services Rehab Loans	35,213.17	
256-400-69216-956.085		Other Services Home Repair Services	5,000.00	
256-400-69216-956.372		Other Services Code Enforcement	5,000.00	
256-400-69216-956.308		Other Services Salvation Army	4,819.54	-
				- <hr/>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

Budget Amendment Number 011

To the Wyoming City Council:

A budget increase of **232,555.46** for the Library Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		_____	_____	<u>232,555.46</u>

Recommended: Kate Bailegard Senior Accountant _____ Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
To the 2016 - 2017 Fiscal Year
For the Library Fund
Budget Amendment Number 011

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
271-267-26700-975.000	Facilities	Capital Outlay		
	Maintenance	PO #2016-797 Library Design Associates - Furniture	\$ 9,847.00	
		PO #2016-799 McGraw Construction - Café renovations	\$ 102,822.00	
		PO #2016-800 FTC&H - Construction administration	\$ 6,500.00	
		Balance in Account	\$ 113,386.46	232,555.46
				<u>232,555.46</u>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

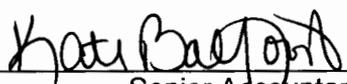
Budget Amendment Number 012

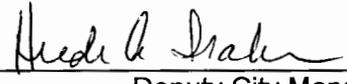
To the Wyoming City Council:

A budget increase of **487,319.25** for the Capital Improvement Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		_____	_____	<u>487,319.25</u>

Recommended: 
Senior Accountant


Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
To the 2016 - 2017 Fiscal Year
For The Capital Improvement Fund
Budget Amendment Number 012

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
	Capital Outlay			
400-441-50200-972.502	Major Streets	Outstanding POs:		
		PO #2014-686 State of MI	894.13	
		Project: 2014 CP.I196 Approach		
		PO #2015-225 Pathfinder Engineering	2,940.91	
		Project: 2015 CP.Crescent St. Expense		
		PO #2015-273 Progressive AE	5,670.48	
		Project: 2015 CP.Crescent St. Expense		
		PO #2015-615 State of MI	147,508.22	
		Project: 2015 CP.RogerBChaffee. Expense		
		PO #2016-0534 State of MI	14,755.51	
		Project: 2014 CP.Inter Ktwd Trail.Rev Exp		
		PO #2016-0785 State of MI	315,550.00	487,319.25
		Project: 2016 CP.2016 FedResurface.Expense		
				<u>487,319.25</u>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

Budget Amendment Number 013

To the Wyoming City Council:

A budget increase of 214,074.76 for the Sewer Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		<u> </u>	<u> </u>	<u>214,074.76</u>

Recommended: Kate Barford
Senior Accountant

Huck A. Jackson
Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
 To the 2016 - 2017 Fiscal Year
For The Sewer Fund
 Budget Amendment Number 013

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
590-441-54400-972.544	Public Works - Capital Outlay	Capital Outlay Sanitary Sewer PO #2016-0713 JGM Valve - Chopper Pumps for Lift Stations		53,750.00
590-590-54300-801.000	Treatment	Professional Services PO #2016-0317 FTCH - MAHL Study PO #2016-0473 Black & Veatch - Basis of Design Study	6,115.00 <u>16,140.49</u>	22,255.49
590-590-54300-775.000		Maintenance Supplies PO #2016-0625 Fluid Process Equipment - Moyno Pump Parts		2,043.45
590-590-54300-930.000		Repairs and Maintenance PO #2016-0680 Tetra Tech - OIC Upgrade		7,578.87
590-590-54400-980.074	Capital Outlay	Capital Outlay Miscellaneous PO #2016-0645 The Architectural Group - Maintenance Shop Remodel Agreement PO #2016-0729 Donohue & Assoc - Aeration Basin Improvements PO #2016-0870 Aquarius Technologies - Diffusers	4,844.45 28,232.50 <u>95,370.00</u>	128,446.95
				<u><u>214,074.76</u></u>

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

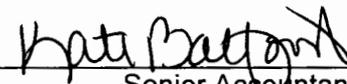
Budget Amendment Number 014

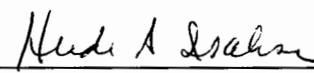
To the Wyoming City Council:

A budget increase of 170,496.64 for the Water Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		<u> </u>	<u> </u>	<u>170,496.64</u>

Recommended: 
Senior Accountant


Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

City of Wyoming
Schedule of Reappropriations
 To the 2016 - 2017 Fiscal Year
For The Water Fund
 Budget Amendment Number 014

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
591-591-55300-775.000	Pumping & Treatment	Maintenance Supplies PO #2016-0798 Bry-Air PO #2016-0873 Bry-Air	146.00 4,323.73	4,469.73
591-591-55300.801.000		Professional Services PO #2012-0836 Meyers Bueche & Nies PO #2014-0613 Meyers Bueche & Nies PO #2014-0614 Meyers Bueche & Nies	1,199.00 3,950.00 4,300.00	9,449.00
591-591-55300.930.000		Repairs and Maintenance PO #2016-0792 Belding Tank Tech PO #2016-0874 Cofessco Fire Prot. PO #2016-0595 GEA Mechanical PO #2016-0846 Thyssenkrupp Elevator PO #2016-0851 Thyssenkrupp Elevator PO #2016-0852 Thyssenkrupp Elevator PO #2016-0853 Thyssenkrupp Elevator PO #2016-0780 Titan Equipment West	27,525.00 1,697.35 38,655.99 4,553.00 15,921.42 7,516.71 8,450.00 370.00	104,689.47
591-591-56300-930.000	T & D - Pipeline to Gezon	Repairs and Maintenance PO #2016-0427 Corpro Waterworks PO #2016-0791 Davis Construction PO #2016-0816 Denny's Excavating	8,500.00 20,654.82 15,450.00	44,604.82
591-591-57300-986.444	Capital Outlay	Capital Outlay Plant Expansion Phase 2 PO #2016-0235 Black & Veatch LTD - Engineering services for transmission booster station and WTP intake		6,743.00
591-591-57300-986.954		Capital Outlay Maintenance Equipment PO #2015-0648 Tetra Tech - Low service pump #3 variable frequency drive		540.62

170,496.64

CITY OF WYOMING BUDGET AMENDMENT REQUEST

Date: August 1, 2016

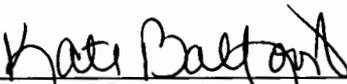
Budget Amendment Number 015

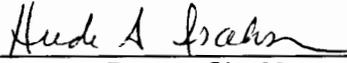
To the Wyoming City Council:

A budget increase of **200,829.00** for the Motor Pool - Depreciation Res Fund is requested for the following reason:

To reappropriate monies for open purchase orders, capital outlay, uncompleted projects and other encumbrances from the 2015-2016 fiscal year to the 2016-2017 fiscal year per the attached list.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>See Attached Sheet</u>				
Fund Balance/Working Capital		_____	_____	<u>200,829.00</u>

Recommended: 
Senior Accountant


Deputy City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: _____ yeas, _____ nays

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

August 1, 2016

City of Wyoming
Schedule of Reappropriations
To the 2016 - 2017 Fiscal Year
For The Motor Pool - Depreciation Res Fund
Budget Amendment Number 015

<u>Account Number</u>	<u>Activity</u>	<u>Purpose</u>	<u>Amount</u>	<u>Total</u>
662-441-58500-987.000	Capital Outlay	Equipment PO #2016-0460 Arista Truck Systems - Plows, Salt Spreaders and Dump Bodies		<u>200,829.00</u>
				<u>200,829.00</u>

RESOLUTION NO. _____

RESOLUTION TO SET A PUBLIC HEARING REGARDING
THE EDWARD BYRNE MEMORIAL JUSTICE ASSISTANCE GRANT

WHEREAS:

1. The City of Wyoming Department of Public Safety applied for the Edward Byrne Memorial Justice Assistance Grant in the amount of \$24,630 to be used toward the procurement of equipment, technology, and other items directly related to basic law enforcement functions.
2. The City of Wyoming would accept \$24,630 in grant funds for the procurement of equipment, technology, and other items directly related to basic law enforcement functions.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council for the City of Wyoming does hereby set a public hearing to be held on Monday, August 15, 2016, at 7:01 p.m., for the purpose of receiving public comment on the use of the 2016 Edward Byrne Memorial Justice Grant Funds for program activities.
2. The City of Wyoming sets that the form of the notice to be published as follows:

Notice of Public Hearing
Edward Byrne Memorial Justice Assistance Grant

The City Council of the City of Wyoming will hold a public hearing on Monday, August 15, 2016, at 7:01 p.m. in the City Council Chambers for the purpose of receiving comment on the use of the 2016 Edward Byrne Memorial Justice Assistance Grant for program activities. The total amount of the funds to be received for 2016 is \$24,630. For information on the proposed program activities contact Wyoming Department of Public Safety Captain Kim Koster at 530-7309. Written comments may be submitted to the City Clerk at 1155 28th Street SW, Wyoming, MI 49509.

Moved by Councilmember:
Seconded by Councilmember:
Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

Kelli A. VandenBerg, Wyoming City Clerk

Resolution No. _____

FY 2016 BJA Justice Assistance Grant
Abstract

Name: City of Wyoming – for its Department of Public Safety

Title of Project: 2016 JAG for police safety, and equipment.

Goals of the project: To assist the City and Department with immediate equipment assistance; to meet unfunded public safety needs.

Description of strategies: The City of Wyoming will direct the Department of Public Safety to utilize FY 2016 JAG funds for the following: CORE Incorporated – TALON – TIMS complete upgrade for our records management system to deliver improvements to the entire City of Wyoming community, and those exposed to the criminal justice law enforcement system within or community, with immediate hardware and software improvement capabilities as it relates to sustaining state compatible incident based law enforcement reporting systems to our police department.

The current Records Management System is outdated and many versions behind current and we are lacking a much needed systems upgrade. We have had to implement serious workarounds to make the current system work with other, more up-to-date software systems.

If the grant is accepted we propose to procure a bid for the necessary software implementation and will develop a timeline, not to exceed one year, for the project implementation. These goals and objectives will be in line with approved accounting practices for the bid, City of Wyoming Information Technology support for the hardware and software upgrade implementation. Once complete, we hope to see immediate cost savings in the time that it takes to process needed administrative reports, and the mandated reporting of crimes to the State of Michigan.

Project Identifiers: Case Management
System Improvement
Computer Hardware / Software
Data Sharing Linkage

8/1/2016

ME:JO

RESOLUTION NO. _____

RESOLUTION TO AWARD A CONTRACT FOR THE
2016 FIRE STATION NO. 4 PARKING LOT RESURFACING PROJECT

WHEREAS:

1. The parking lot at Fire Station No. 4 has deteriorated to the point where it requires major maintenance.
2. Resurfacing this parking lot will extend its useful life.
3. On July 26, 2016, the City received two (2) bids for the 2016 Fire Station No. 4 Parking Lot Resurfacing project with Michigan Paving and Materials Company submitting the low bid of \$121,160.39.
4. The bid is \$1,115.36 or 0.9% below the Engineer's Estimate and is in the best interest of the City to perform the aforementioned work.
5. The costs for this project can be financed out of the following capital account:

	Account Number	Amount
Department of Public Safety / Fire Department Buildings Capital Outlay	101-305-33800-975000	\$121,160.39

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council hereby awards the 2016 Fire Station No. 4 Parking Lot Resurfacing contract to Michigan Paving and Materials Company in the amount of \$121,160.39.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried: Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

Kelli A. VandenBerg, Wyoming City Clerk

Resolution No. _____

STAFF REPORT

Date: July 26, 2016
Subject: 2016 Fire Station No. 4 Parking Lot Resurfacing Project - Award of Bid
From: Lt. Mark Easterly, Wyoming Department of Public Safety
Cc: Curtis Holt, City Manager

Meeting Date: August 1, 2016

RECOMMENDATION:

Staff recommends awarding the 2016 Fire Station No. 4 Parking Lot Resurfacing contract to Michigan Paving and Materials Company for submitting the low bid of \$121,160.39.

SUSTAINABILITY CRITERIA:

Environmental Quality – Maintaining parking lot surfaces reduce trip and fall hazards for public facility patrons. Smooth parking lot pavement reduces maintenance on vehicles accessing City Facilities. In addition, it is recognized that well maintained, aesthetically pleasing, contemporary public facilities are catalysts in improving and maintaining the economic vitality of community.

Social Equity – Providing a well maintained parking lot infrastructure will maintain the useful function of the City Facilities.

Economic Strength – Public facilities through programmed and passive use provide for economic stimulus and community prosperity.

DISCUSSION:

As part of the 2017 budget, City Council set aside sufficient funds to repair and reconstruct the parking lot at the Wyoming Fire Station #4. The parking lot has deteriorated to the point that resurfacing of the lot must be completed.

On July 26, 2016, the City's Engineering Department received two (2) bids for the 2016 Fire Station No. 4 Parking Lot Resurfacing Project with Michigan Paving and Materials Company submitting the low bid of \$121,160.39. The bid is \$1,115.36 or 0.9% below the Engineer's Estimate.

BUDGET IMPACT:

There is sufficient funds budgeted in Fire Buildings Capital Outlay: 101-337-33800-975000

Attachments: Bid Tabulation
Contract Form

Bid Comparison

Contract ID: 179.16
Description: Milling and Resurfacing
Location: Fire Station #4 Resurfacing
Project(s): 179.16

Rank	Bidder	Total Bid	% Over Low	% Over Est.
0	ENGINEER'S ESTIMATE	\$122,275.75	0.92%	0.00%
1	(23) Michigan Paving & Materials Co.	\$121,160.39	0.00%	-0.91%
2	(21) Rieth-Riley Construction	\$163,932.40	35.30%	34.06%

Line	Pay Item Code	Description	Quantity	Units	(0) ENGINEERS ESTIMATE Bid Price	Total	(1) Michigan Paving & Materials Co. Bid Price	Total	(2) Rieth-Riley Construction Bid Price	Total
0001	1000	MOBILIZATION	1	LS	\$6,000.00	\$6,000.00	\$24,575.00	\$24,575.00	\$29,500.00	\$29,500.00
0002	1008	REMOVE CURB & GUTTER	220	Ft	\$15.00	\$3,300.00	\$15.00	\$3,300.00	\$16.00	\$3,520.00
0003	1035	REMOVE SIDEWALK	25	SY	\$45.00	\$1,125.00	\$20.00	\$500.00	\$16.00	\$400.00
0004	1217	COLD MILLING EXISTING PAVEMENT-4"	2,347	SY	\$3.00	\$7,041.00	\$1.47	\$3,450.09	\$5.00	\$11,735.00
0005	6100	SITE GRADING	1	LS	\$7,500.00	\$7,500.00	\$5,800.00	\$5,800.00	\$13,500.00	\$13,500.00
0006	6105	MISCELLANEOUS GRAVEL	20	CY	\$30.00	\$600.00	\$70.00	\$1,400.00	\$30.00	\$600.00
0007	6105	MISCELLANEOUS GRAVEL Remove, Salvage, and -Replace	610	CY	\$30.00	\$18,300.00	\$9.00	\$5,490.00	\$35.00	\$21,350.00
0008	6240	CONCRETE CURB AND GUTTER, 30"	265	Lft	\$30.00	\$7,950.00	\$32.50	\$8,612.50	\$21.00	\$5,565.00
0009	6270	CONCRETE SIDEWALK, 4"	225	SF	\$6.00	\$1,350.00	\$12.90	\$2,902.50	\$6.00	\$1,350.00
0010	6295	ADJUST CASTINGS	5	EA	\$250.00	\$1,250.00	\$485.00	\$2,425.00	\$500.00	\$2,500.00
0011	6329	BITUMINOUS MIXTURE - 13A	390	T	\$80.00	\$31,200.00	\$64.16	\$25,022.40	\$84.00	\$32,760.00
0012	6338	BIT MIXTURE 36A	235	T	\$80.00	\$18,800.00	\$85.14	\$20,007.90	\$93.44	\$21,958.40
0013	6481	PAVEMENT MARKING REGULAR BLUE - HANDICAP -SYMBOL	2	Ea	\$20.00	\$40.00	\$25.00	\$50.00	\$100.00	\$200.00
0014	6485	PAVEMENT MARKING REGULAR 4" YELLOW	730	Lft	\$0.50	\$365.00	\$0.25	\$182.50	\$0.40	\$292.00
0015	6486	PAVEMENT MARKING REGULAR 4" BLUE	115	Lft	\$0.50	\$57.50	\$0.25	\$28.75	\$0.40	\$46.00

Contract # 179.16 (Fire Station #4 Resurfacing)
MERL: 5.3.5

Line	Pay Item Code	Quantity	Units	(0) ENGINEER'S ESTIMATE	(1) Michigan Paving & Materials Co.	(2) Rieth-Riley Construction
Description				Bid Price	Bid Price	Bid Price
				Total	Total	Total
0016	6487	415	Lft	\$0.50	\$0.25	\$0.40
PAVEMENT MARKING REGULAR 4" WHITE				\$207.50	\$103.75	\$166.00
0017	7005	235	SY	\$20.00	\$6.00	\$7.00
TOP SOIL 4" SCREENED				\$4,700.00	\$1,410.00	\$1,645.00
0018	7015	235	SY	\$3.00	\$5.00	\$7.00
CLASS A SEED HYDRO-MULCH				\$705.00	\$1,175.00	\$1,645.00
0019	2050016	475	Cyd	\$10.00	\$11.00	\$16.00
Excavation, Earth - removal of topsoil				\$4,750.00	\$5,225.00	\$7,600.00
0020	2050023	475	Cyd	\$14.81	\$20.00	\$16.00
Granular Material, CI II				\$7,034.75	\$9,500.00	\$7,600.00
Bid Totals:				\$122,275.75	\$121,160.39	\$163,932.40

CONTRACT

THIS CONTRACT AWARDED on the 1st day of August 2016 by and between the CITY OF WYOMING, Kent County, Michigan, party of the first part, hereinafter called the "City" and

**MICHIGAN PAVING AND MATERIALS COMPANY
1100 MARKET AVENUE, SW
GRAND RAPIDS, MI 49503**

party of the second part, hereinafter called the "Contractor."

Witnesseth, that the City and the Contractor, for the considerations hereinafter mentioned, agree as follows:

ARTICLE I - THE CONTRACT

The following shall be deemed to be part of this Contract:

- A. Performance Bond, Payment Bond, and Resolution from Board of Directors**
- B. Information for Bidders**
- C. Bid Proposal Form**
- D. Award of Bid**
- E. Certificate of Insurance (per City of Wyoming's Contractor Insurance Requirements)**
- F. Subcontract Provision**
- G. Letter of Credit (5% of Annual Contract Amount)**
- H. Equal Employment Opportunity Statement**
- I. All Provisions required by law to be inserted in this contract, whether actually inserted or not.**
- J. Special Specifications as listed below:**

SEE ATTACHED

ARTICLE II - SCOPE OF THE WORK - SUBJECT MATTER

The Contractor hereby agrees to furnish all of the materials and all of the equipment and labor necessary to perform all of the work shown on the drawing and described in the specifications for the project entitled:

FIRE STATION NO. 4 RESURFACING

all in accordance with the requirements and provisions of the Contract. The Contractor likewise agrees to do all incidental and appurtenant work in connection therewith.

ARTICLE III - TIME OF COMPLETION

The work to be performed under this contract shall be completed on or before August 31, 2016. Should the Contractor be obstructed or delayed in the prosecution or completion of his work by any act, neglect or default of the City, then the time herein fixed for completion of the work shall be extended for a period equivalent to the time lost by reason of such delay for the causes herein mentioned. The duration of such extension shall be determined by the City Manager or his authorized representative.

ARTICLE IV - LIQUIDATED DAMAGES

Should the work under this Agreement not be finished within the time specified, the City is hereby authorized to deduct out of the money which may be due or become due to the Contractor under this Agreement, as damages for the noncompletion of the work aforesaid, within the time hereinbefore stipulated for its completion, the sum of Six Hundred Dollars (\$600.00) for each calendar day by which the Contractor shall fail to complete the work or any part thereof in accordance with the provisions hereof, and such liquidated damages shall not be considered as a penalty. It is understood that the City shall not forfeit its right to liquidated damages in the event that delay is partly caused by it. In this event, said damages shall be apportioned so that each day of delay attributable to the City shall be subtracted from the total days of delay, and the Contractor shall pay liquidated damages for the remainder.

ARTICLE V - THE CONTRACT SUM

The City agrees to pay and the Contractor agrees to accept the sum of:

**ONE HUNDRED TWENTY-ONE THOUSAND ONE HUNDRED SIXTY DOLLARS
AND 39/100 CENTS (\$121,160.39)**

the amount named in the Proposal, as full compensation for all labor, supervision, equipment, materials, and incidental expense required in executing all of the work contemplated in this Contract, including also all loss or damage arising out of the nature of the work or from the action of the elements or from any unforeseen obstruction or difficulties which may be encountered in the prosecution of the same or from other causes of every description connected with the work.

It is further agreed that the sum named may be increased or decreased in accordance with the units of work actually completed at the Contract unit prices, and may be increased by the addition of items of work not included in the proposal items.

ARTICLE VI - CITY CHARTER TO BE GOVERNING DOCUMENT

The City Charter of the City shall be the governing document in all contractual relations with the City of Wyoming. In the prosecution of the work under this Contract, eight (8) hours shall constitute a day's labor. The City retains the right to determine finally all questions as to the proper performance under this Contract or any unfinished portion thereof, and in case of improper, dilatory or imperfect performance thereof to suspend the work at any time and to order the partial or entire reconstruction of the same. The City likewise retains full power to determine all questions arising under this Contract according to the true intent and meaning thereof.

ARTICLE VII - COMPLIANCE WITH LAWS, ORDINANCES AND REGULATIONS

The Contractor shall keep himself fully informed of and shall at all time comply with all local, state, and federal laws, rules, and regulations applicable to this Contract and the work to be done hereunder.

IN WITNESS WHEREOF, the parties hereto have executed this Contract as of the day and year first above written.

Witnesses

CITY OF WYOMING

_____ By _____
Jack Poll
Its Mayor Date

_____ By _____
Kelli A. Vandenberg
Its City Clerk Date

CONTRACTOR Date

By _____

Its _____

Correct in form: _____
City Attorney Date

Certification of funds: _____
City Comptroller Date

The Contract above was approved and ordered executed by the Council of the
City of Wyoming at a session held _____, 20 _____.

Attest: _____
City Clerk Date

8/1/2016

RH:JO

RESOLUTION NO. _____

RESOLUTION TO AWARD A CONTRACT FOR THE
28 WEST PLACE STREET AND UTILITY IMPROVEMENT PROJECT – PHASE I

WHEREAS:

1. The City of Wyoming has created a long-term vision for 28th Street to become a sustainable, economically vibrant, walkable town center.
2. Construction of 28 West Place Street and Utility Improvements – Phase I is the first step in implementing this long-term vision.
3. On July 27, 2016, the City received five (5) bids for the 28 West Place Street and Utility Improvement Project – Phase I with Kentwood Excavating, Inc. submitting the low bid of \$1,763,863.30.
4. The bid is \$225,511.20 or 11.34% below the Engineer’s Estimate and is in the best interest of the City to perform the aforementioned work.
5. The costs for construction and right-of-way acquisition can be financed out of the following capital accounts, respectively, subject to the attached budget amendment:

	Account Number	Amount
28 West Place (Improvements)	400-441-50200-972.502	\$2,275,000
28 West Place (Sanitary)	590-441-54400-972.544	\$310,000
28 West Place (Water)	591-441-57300-972.573	\$200,000
Total		\$2,785,000

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council hereby awards the 28 West Place Street and Utility Improvement Project – Phase I contract to Kentwood Excavating, Inc. in the amount of \$1,763,863.30.
2. The City Council hereby approves the attached budget amendment.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried: Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

Kelli A. VandenBerg, Wyoming City Clerk

ATTACHMENTS:

- Budget Amendment
- Staff Report
- Bid Summary
- Contract Form

Resolution No. _____

CITY OF WYOMING BUDGET AMENDMENT

Date: August 1, 2016

Budget Amendment No. 017

To the Wyoming City Council:

A budget amendment is requested for the following reason: To appropriate \$2,785,000.00 of budgetary authority to provide funding for the right of way acquisition, easement acquisition and construction of 28 West Place Phase 1 as per the attached resolution.

<u>Description/Account Code</u>	<u>Current</u>	<u>Increase</u>	<u>Decrease</u>	<u>Amended</u>
<u>Capital Improvement Fund</u>				
Public Works - Major Street Construction - Capital Outlay Major Street Construction				
400-441-50200-972.502	2,950,000.00	2,275,000.00		5,225,000.00
Balance/Working Capital (Fund 400)			<u>2,275,000.00</u>	
<u>Sewer Fund</u>				
Public Works - Capital Outlay - Capital Outlay Sanitary Sewer				
590-441-54400-972.544	384,000.00	310,000.00		694,000.00
Balance/Working Capital (Fund 590)			<u>310,000.00</u>	
<u>Water Fund</u>				
Public Works - Capital Outlay - Capital Outlay Watermains				
591-441-57300-972.573	2,000,000.00	200,000.00		2,200,000.00
Fund Balance/Working Capital (Fund 591)		<u>-</u>	<u>200,000.00</u>	

Recommended: *Kate Balfour*
Senior Accountant

Heidi A. Isakson
Dep City Manager

Motion by Councilmember _____, seconded by Councilmember _____ that the General Appropriations Act for Fiscal Year 2016-2017 be amended by adoption of the foregoing budget amendment.

Motion carried: Yes _____, No _____

I hereby certify that at a _____ meeting of the Wyoming City Council duly held on _____ the foregoing budget amendment was approved.

City Clerk

STAFF REPORT

Date: July 27, 2016

Subject: 28 West Place Street and Utility Improvement Project – Phase I - Award of Bid

From: William D. Dooley, Director of Public Works

Meeting Date: August 1, 2016

RECOMMENDATION:

Staff recommends awarding the 28 West Place Street and Utility Improvement Project – Phase I contract to Kentwood Excavating, Inc. for submitting the low bid of \$1,763,863.30.

SUSTAINABILITY CRITERIA:

Environmental Quality – 28 West Place is part of a long-term vision for a sustainable, economically vibrant, walkable town center in Wyoming.

Social Equity – 28 West Place is intended to be part of a friendly, inclusive neighborhood. The street will anchor a commercial center with on-street parking and easy pedestrian access.

Economic Strength – 28 West Place has been planned in cooperation with local businesses and is intended to spur business growth in the area.

DISCUSSION:

On July 27, 2016, the City received five (5) bids for the 28 West Place Street and Utility Improvement Project – Phase I with Kentwood Excavating, Inc. submitting the low bid of \$1,763,863.30. The bid is \$225,511.20 or 11.34% below the Engineer's Estimate. The attached Budget Amendment includes amounts for the acquisition of necessary right-of-way and easements for the construction of the project.

BUDGET IMPACT:

Funds are available in the Capital Improvement Fund, Water Fund and Sewer Fund, but a budget amendment is necessary.

BID SUMMARY - 28 WEST PLACE

Rank	Vender	Total Bid	% over Low	% Over Est.
0	ENGINEER'S ESTIMATE	\$ 1,989,374.50	12.79%	0.00%
1	Kentwood Exc. ALT #1	\$ 1,763,863.30	0.00%	-11.34%
2	DIVERSCO CONST. ALT #2	\$ 1,954,830.20	10.83%	-1.74%
3	Katerberg-Verhage ALT #2	\$ 2,159,012.50	22.40%	8.53%
4	DIVERSCO CONST. BASE BID	\$ 2,367,118.15	34.20%	18.99%
5	K & R ALT #2	\$ 2,460,311.30	39.48%	23.67%

CONTRACT

THIS CONTRACT AWARDED on the 1st day of August 2016 by and between the CITY OF WYOMING, Kent County, Michigan, party of the first part, hereinafter called the "City" and

**KENTWOOD EXCAVATING, INC.
3401 BROADMOOR AVENUE, SE
GRAND RAPIDS, MI 49512**

party of the second part, hereinafter called the "Contractor."

Witnesseth, that the City and the Contractor, for the considerations hereinafter mentioned, agree as follows:

ARTICLE I - THE CONTRACT

The following shall be deemed to be part of this Contract:

- A. Performance Bond, Payment Bond, and Resolution from Board of Directors**
- B. Information for Bidders**
- C. Bid Proposal Form**
- D. Award of Bid**
- E. Certificate of Insurance (per City of Wyoming's Contractor Insurance Requirements)**
- F. Subcontract Provision**
- G. Letter of Credit (5% of Annual Contract Amount)**
- H. Equal Employment Opportunity Statement**
- I. All Provisions required by law to be inserted in this contract, whether actually inserted or not.**
- J. Special Specifications as listed below:**

SEE ATTACHED

ARTICLE II - SCOPE OF THE WORK - SUBJECT MATTER

The Contractor hereby agrees to furnish all of the materials and all of the equipment and labor necessary to perform all of the work shown on the drawing and described in the specifications for the project entitled:

28 WEST PLACE (PHASE I)

all in accordance with the requirements and provisions of the Contract. The Contractor likewise agrees to do all incidental and appurtenant work in connection therewith.

ARTICLE III - TIME OF COMPLETION

The work to be performed under this contract shall be completed on or before May 15, 2017. Should the Contractor be obstructed or delayed in the prosecution or completion of his work by any act, neglect or default of the City, then the time herein fixed for completion of the work shall be extended for a period equivalent to the time lost by reason of such delay for the causes herein mentioned. The duration of such extension shall be determined by the City Manager or his authorized representative.

ARTICLE IV - LIQUIDATED DAMAGES

Should the work under this Agreement not be finished within the time specified, the City is hereby authorized to deduct out of the money which may be due or become due to the Contractor under this Agreement, as damages for the noncompletion of the work aforesaid, within the time hereinbefore stipulated for its completion, the sum of One Thousand Two Hundred Dollars (\$1,200.00) for each calendar day by which the Contractor shall fail to complete the work or any part thereof in accordance with the provisions hereof, and such liquidated damages shall not be considered as a penalty. It is understood that the City shall not forfeit its right to liquidated damages in the event that delay is partly caused by it. In this event, said damages shall be apportioned so that each day of delay attributable to the City shall be subtracted from the total days of delay, and the Contractor shall pay liquidated damages for the remainder.

ARTICLE V - THE CONTRACT SUM

The City agrees to pay and the Contractor agrees to accept the sum of:

ONE MILLION SEVEN HUNDRED SIXTY-THREE THOUSAND EIGHT HUNDRED SIXTY-THREE DOLLARS AND 30/100 CENTS (\$1,763,863.30)

the amount named in the Proposal, as full compensation for all labor, supervision, equipment, materials, and incidental expense required in executing all of the work contemplated in this Contract, including also all loss or damage arising out of the nature of the work or from the action of the elements or from any unforeseen obstruction or difficulties which may be encountered in the prosecution of the same or from other causes of every description connected with the work.

It is further agreed that the sum named may be increased or decreased in accordance with the units of work actually completed at the Contract unit prices, and may be increased by the addition of items of work not included in the proposal items.

ARTICLE VI - CITY CHARTER TO BE GOVERNING DOCUMENT

The City Charter of the City shall be the governing document in all contractual relations with the City of Wyoming. In the prosecution of the work under this Contract, eight (8) hours shall constitute a day's labor. The City retains the right to determine finally all questions as to the proper performance under this Contract or any unfinished portion thereof, and in case of improper, dilatory or imperfect performance thereof to suspend the work at any time and to order the partial or entire reconstruction of the same. The City likewise retains full power to determine all questions arising under this Contract according to the true intent and meaning thereof.

ARTICLE VII - COMPLIANCE WITH LAWS, ORDINANCES AND REGULATIONS

The Contractor shall keep himself fully informed of and shall at all time comply with all local, state, and federal laws, rules, and regulations applicable to this Contract and the work to be done hereunder.

IN WITNESS WHEREOF, the parties hereto have executed this Contract as of the day and year first above written.

Witnesses

CITY OF WYOMING

_____ By _____
Jack Poll
Its Mayor Date

_____ By _____
Kelli A. Vandenberg
Its City Clerk Date

CONTRACTOR Date

By _____

Its _____

Correct in form: _____
City Attorney Date

Certification of funds: _____
City Comptroller Date

The Contract above was approved and ordered executed by the Council of the City of Wyoming at a session held _____, 20 _____.

Attest: _____
City Clerk Date

RESOLUTION NO. _____

RESOLUTION TO AUTHORIZE THE MAYOR AND CITY CLERK TO EXECUTE AN
AGREEMENT WITH PROGRESSIVE AE FOR THE BURTON STREET CORRIDOR
STUDY FROM BURLINGAME AVENUE TO CLYDE PARK AVENUE

WHEREAS:

1. The Sense of Place Committee and City of Wyoming has identified the Burton Street corridor between Burlingame Avenue and Clyde Park Avenue as an area with the potential to redevelop with different commercial uses.
2. The City of Wyoming requested a proposal from a local traffic consultant to review the Burton Street corridor and make recommendations for potential lane designations and streetscape improvements throughout the area.
3. On June 20, 2016, Progressive AE submitted the attached proposal to study the Burton Street corridor in the amount of \$11,500.
4. The study will investigate different right-of-way uses, lane designations, peak hour traffic for existing and future traffic demands, and recommend possible alternatives through the area that may enhance redevelopment opportunities.
5. The cost of the study can be financed out of the Major Street Fund Account No. 202-441-47400-801000 but a budget amendment is necessary.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council hereby authorizes the Mayor and City Clerk to execute the attached Agreement with Progressive AE for the Burton Street corridor study in the amount of \$11,500.
2. The City Council hereby approves the attached budget amendment.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

Kelli A. VandenBerg, Wyoming City Clerk

STAFF REPORT

Date: July 26, 2019
Subject: Burton Street Corridor Study
From: Russ Henckel, Assistant Director of Public Works - Engineering
Meeting Date: August 1, 2016

Recommendation:

Staff recommends authorizing Progressive AE to study the Burton Street corridor from Burlingame Avenue to Clyde Park Avenue and make recommendations regarding corridor elements of lane designation and commercial use. Additionally, the study will propose various streetscape and building façade enhancements that may encourage redevelopment in the area. Progressive AE will perform the study in the amount of \$11,500.

Sustainability Criteria:

Environmental Quality – This study will evaluate how the Burton Street corridor may be enhanced to include streetscape benefits and other potential “green” improvements to the commercial corridor.

Social Equity – This study will not impact social equity.

Economic Strength – The study will review the commercial area through the corridor and determine if modifications to lane designations or streetscape modifications would improve the vitality of the community and assist in the overall economic strength of Wyoming.

Discussion:

On June 20, 2016, Progressive AE submitted a proposal to study the commercial corridor along Burton Street from Burlingame Avenue to Clyde Park Avenue. The study will consider alternative lane designations and streetscape concepts that potentially will enhance redevelopment throughout the area.

It is recommended that the City Council authorize the Mayor and City Clerk execute the attached Agreement with Progressive AE to study the Burton Street corridor from Burlingame Avenue to Clyde Park Avenue in the amount of \$11,500.

Budget Impact:

Sufficient funds are available in the Major Street Fund but a budget amendment is necessary.

Attachments: Agreement
Proposal
Budget Amendment

AGREEMENT

This Agreement made this _____ day of _____, 2016 between the City of Wyoming, a municipal corporation of 1155 - 28th Street, S.W., Wyoming, Michigan 49509 (hereinafter "City") and Progressive AE, a corporation having an office located at 1811 4 Mile Road, NE, Grand Rapids, Michigan, 49525 (hereinafter "Consultant") the terms of which are as follows:

1. City hereby hires Consultant to study Burton Street from Burlingame Avenue to Clyde Park Avenue and investigate various street cross-section configurations and streetscape enhancements that may promote commercial redevelopment of the area.
2. The study will consider progression of vehicles through the Burton Street corridor and propose various "Complete Street" improvements to assist with commercial redevelopment.
3. The work to be performed shall be in accordance with the proposal dated June 20, 2016, and the customary standard of professional care.
4. Payment shall be made in accordance with the proposal and upon billing for work completed in an amount not-to-exceed \$11,500. Undisputed portions of invoices are due within 30 days.
5. Upon completion of the services or in the event of a termination of the contract during the performance of the services, all completed work, and/or work in progress shall become the property of the City upon payment for the work.
6. Consultant is an independent contractor and the City is hiring Consultant for professional services. All officers, agents and employees of Consultant shall at all times be considered employees of Consultant and not of the City.
7. This Agreement contains the entire agreement between the parties and may not be modified except in writing by mutual consent.

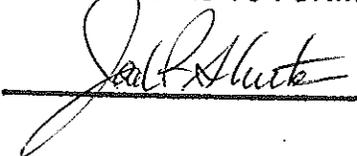
City of Wyoming

Progressive AE

Jack Poll
Its Mayor

Kelli A. VandenBerg
Its City Clerk

APPROVED AS TO FORM:





1811 4 Mile Rd NE | Grand Rapids, MI 49525 | 616-361-2664 | www.progressiveae.com

June 20, 2016

Russ Henckel
Assistant Director Public Works/Engineering
City of Wyoming - Engineering
2660 Burlingame, SW
Wyoming, MI 49509

RE: Proposal for Professional Traffic Engineering Services for Burton Street Corridor Traffic Analyses

Dear Mr. Henckel:

Progressive AE is pleased to present this proposal for professional traffic engineering services for the Burton Street Corridor Traffic Analyses. Following is our understanding of the project, our scope of services, clarifications, proposed schedule, and compensation for your consideration.

Understanding of Project

City of Wyoming and the Sense of Place Committee have identified this Burton Street Corridor subarea as unique and therefore in need of identifying what type of improvements that should be considered to bolster its image and increase redevelopment where applicable. It is also our understanding, from a land use perspective, that subarea goals will include more types of land uses, conversion of existing older single family parcels into row houses and duplexes, and converting some commercial areas to two-story uses with retail on the first floor and residential on the second floor.

From a street perspective, and the focus of our effort, the general goal is to create a more complete streets type of environment that may include a revised street cross section from the current four-lane configuration, on-street parking, wider sidewalks, and traffic calming measures. This will likely be a challenge given that Burton Street is a major street in the city that serves several large industrial uses to the west and provides direct connection to US-131 to the east.

Scope of Services

Based upon the above project understanding, we will provide the following scope of services:

1. *Data Collection.* Since one of the key transportation-related goals is to potentially revise the street cross section (conversion to three lanes or other), obtaining current peak-hour traffic counts is an important element of the study. It is our understanding the city has recently collected that data at key signalized intersections along the subarea corridor for our use. Within this task Progressive AE will complete an intensive on-site corridor review to identify corridor street information related to lanes, traffic controls, speed limits, general pavement conditions, etc. Additional background information such as signal timing permits and right-of-way information will be obtained from the city.
2. *Existing Conditions Analyses.* Defining how well the corridor currently functions during peak hours will provide a baseline on which subsequent recommendations can be made. Progressive will use the Task 1 data in Synchro capacity software to identify where current deficiencies along the corridor occur, if any, and/or where opportunities may exist to make near term physical or operational revisions in pursuit of the stated overall goals.
3. *Future Conditions Analyses.* As always, this type of corridor study and related potential improvements identification will take into account the potential growth in traffic volumes. Based upon further input from staff, a set of future conditions traffic volumes will be calculated from an

annual growth factor and/or expected significant new traffic generators within or near the subarea corridor. Peak hour capacity calculations will be completed to define longer term street deficiencies and help identify feasible opportunities.

4. *Alternatives Analyses/Recommendations.* Based upon the findings in Task 2 and Task 3, alternatives will be tested that support the underlying complete streets goals. These alternatives may include variations of cross sections (with or without on-street parking), traffic calming elements, and signal operations adjustments. Alternatives will also likely include recommendations regarding defined pedestrian crossings at unsignalized intersections and/or midblock locations and bicycle elements. Recommended improvements will be the primary outcome of this task, and will reflect the likelihood that the improvements will vary dependent upon the subsection within the subarea.
5. *Summary and Graphics.* Findings and conclusions drawn from the above tasks will be summarized in a brief report supplemented by aerial based graphics. Graphics will illustrate the specific recommended improvements for each subsection within the study area, and will include one or two cross section type illustrations.
6. *Meetings.* Progressive AE will attend two meetings/presentations at the direction of city staff. Additional meetings can be added on time and expense basis upon written authorization.

Clarifications

Although not included in this proposal, Progressive AE can provide input on related corridor elements such as streetscaping, façade enhancements, land-use, etc. As discussed briefly, the Progressive AE Landscape Architect group has done many such analyses and conceptual drawings that can boost additional interest in such improvements.

Upon completion of Task 2 or Task 3, if severe limitations are identified as to what can be done between the existing curb lines on all sections of the subarea to process peak-hour traffic, the City of Wyoming will be notified. Progressive AE will work with the City to re-evaluate the focus of the analysis, determine cost-to-date expenses, and generate a new proposal if necessary.

Schedule

Task 1 through submittal of a draft summary set of recommendation graphic illustrations will be completed within seven to eight weeks of authorization to proceed. Final documentation will be completed within one to two weeks of receipt of final review input from the city.

Professional Compensation

Based upon the above identified scope of services, Progressive AE proposes professional compensation to provide the traffic analyses services identified herein for a stipulated sum of \$11,500 (eleven thousand five hundred dollars). Reimbursable expenses are in addition to the stipulated sum and will be invoiced in accordance with the attached Schedule of Invoice Rates.

Terms of this proposal defining project understanding, scope, schedule, clarifications and professional compensation are incorporated into the Standard Agreement Provisions for Professional Services which is attached.

Progressive AE has prepared this proposal for the City of Wyoming and request that it be treated as confidential and not copied or distributed for any reason other than evaluation for hire.

If this proposal meets with your approval, please sign and return the attached Letter of Intent. Your signature will be our authorization to begin the work and place the project in the firm's schedule.

Sincerely,

Progressive AE, Inc.



Peter C. LaMourie PE, PTOE
Lead Traffic Engineer



Brian E. Johnson
Senior Civil Engineer / Team Leader

PCL:smg

cc: Progressive AE – Tom Frey, Tom Short

P:\71740009\WIP DOCUMENTS\Contract\2016 06 20 Wyoming Burton Traffic Analysis.docx

Schedule of Invoice Rates - 2016

Hourly Staff Charges

Class 8 Personnel:	Principals	\$180/hour
Class 7 Personnel:	Experienced Senior Project Managers, Architects, Engineers, Planners, Landscape Architects, Environmental Analysts, LEED Consultants, and Construction Administrators	\$145/hour
Class 6 Personnel:	Senior Project Managers, Architects, Engineers, Planners, Landscape Architects, Environmental Analysts, and Construction Administrators	\$125/hour
Class 5 Personnel:	Project Managers, Architects, Engineers, Planners, Landscape Architects, Environmental Analysts, Construction Administrators, Designers, and Surveyors	\$110/hour
Class 4 Personnel:	Intermediate Architects, Engineers, Planners, Designers, Landscape Architects, Environmental Analysts, Construction Administrators, and Surveyors	\$90/hour
Class 3 Personnel:	Graduate Architects, Engineers, Planners, Designers, Environmental Analysts, Construction Administrators, Technicians, and Surveyors	\$75/hour
Class 2 Personnel:	Technicians, Project Assistants, Clerical Technicians, and Surveyors	\$65/hour
Class 1 Personnel:	Project Assistants, Technicians and Clerical Technicians	\$50/hour

Reimbursable Expenses

1. Fees for securing permits and approvals of authorities having jurisdiction over projects at cost.
2. Outside consultants, travel, and lodging at cost plus 10% handling.
3. Copies, telephone, cell phone voice and data charges and office supplies will be charged through a \$25 per month Misc. Office Expense charge. This charge will not be applied to invoices under \$1,000.
4. CAD plotting at 10¢ per square foot. 8-1/2" x 11" color images at \$1 each; large-format color plotting at \$9 per square foot. Postage, shipping, and lab tests at cost. Files written to CD will be minimum \$100 per drawing or \$500 maximum. Passenger vehicle mileage on projects at the IRS Standard Rate (currently 54¢ per mile). Field vehicles at 75¢ per mile. Lodging, meals, and airfare at cost. Boat rental at \$40 per day. Nuclear density meters at \$30 per day. Fluke Scopemeter at \$40 per day. Machine rental GPS at \$250 per day. Traffic Counters at \$60 per count. Surveying supplies at 50¢ per stake.
5. Overtime expenses requiring higher than normal rates if authorized by owner.

Notes:

1. Invoices are due upon receipt. Unpaid invoices shall bear interest at a rate of 1 percent per month if not paid within 30 days of the date of the invoice.
2. Special media requests may be at higher rate.
3. Hourly staff charges and expenses subject to change annually.

RESOLUTION NO. _____

RESOLUTION TO ACCEPT A PROPOSAL FROM JOHNSON & ANDERSON
TO CONDUCT A RELIABILITY STUDY OF THE WYOMING WATER SYSTEM

WHEREAS:

1. As detailed in the attached Staff Report a proposal was received from Johnson & Anderson to conduct a reliability study of the Wyoming water system in the total estimated amount of \$25,706.00.
2. A reliability study is required every five years by the Safe Drinking Water Act, Public Act 399, as overseen by the Michigan Department of Environmental Quality.
3. It is recommended the City Council accept the proposal.
4. Sufficient funds are available in the Water Fund Professional Services account number 591-591-55300-801000.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council does hereby accept the proposal from Johnson & Anderson to conduct a reliability study of the Wyoming water system in the total estimated amount of \$25,706.00.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

ATTACHMENTS:
Staff Report
Proposal

Kelli A. VandenBerg, Wyoming City Clerk

Resolution No. _____

STAFF REPORT

Date: July 26, 2016
Subject: Selection of Professional Consultant to Perform Water System Reliability Study
From: Robert Veneklasen, Water Treatment Plant Superintendent
Meeting Date: August 1, 2016

RECOMMENDATION:

I recommend the City accept the cost proposal provided by Johnson & Anderson to conduct a Reliability Study of the City of Wyoming Water System. This study will include the water treatment facilities, transmission water mains, and the City water distribution system.

SUSTAINABILITY CRITERIA:

Environmental Quality – The Reliability Study ensures the Water Treatment Plant and distribution system meets requirements set forth in the Safe Drinking Water Act, PA 399 as overseen by the Michigan Department of Environmental Quality.

Social Equity – The utility function within the City of Wyoming provides the same high quality service to all areas of the City without regard to income level or socio-economic status. All residents enjoy access to services provided by our water and wastewater utilities.

Economic Strength – By performing this study the Utilities Department is insuring that we maintain the water system to provide the best value for this service. This results in the lowest rates possible for our residents and customers.

DISCUSSION:

A Reliability Study of the City’s water system is required every five years by the Safe Drinking Water Act, Public Act 399, as overseen by the Michigan Department of Environmental Quality. The study is a formal report of the water system and its continued ability to meet the regulations and requirements as set forth in Act 399.

Requests for combined statements of qualifications and proposals were requested from six engineering design firms with experience performing reliability studies. Four responses were received as follows:

Johnson & Anderson	\$25,706.00
Jones & Henry	\$32,320.00
Tetra Tech	\$43,200.00
Hubbell, Roth, & Clark	\$47,400.00

The proposals submitted were reviewed by Staff who will be associated with the engineering activities. Staff reviewed the project team, scope, and level of effort as deemed appropriate to meet the City's needs for this study. It was determined the most favorable proposal was provided by the firm of Johnson & Anderson at a cost of \$25,706.00. It is my recommendation that we have the 2016 Reliability Study of the water system performed by Johnson & Anderson.

I have attached an excerpt from Johnson & Anderson's complete proposal, showing the scope and cost of the project.

BUDGET IMPACT:

The need for this study was anticipated and sufficient funds are available in the Water Fund Professional Services Account #591-591-55300-801.000.

Attachments: Johnson & Anderson Proposal Section 5

Section 5 Scope of Services

Johnson & Anderson's understanding of the project is based on review of the Request for Qualifications and Proposals, discussions with City of Wyoming staff, review of the *Michigan Safe Drinking Water Act 1976 PA 399*, as Amended, revised 10/16/2015, *Part 12. Reliability* and *Part 16. General Plans*, and development of water system reliability studies and master plans for other communities.

The following tasks describe the proposed Scope of Services J&A will perform to develop a Water System Reliability Study for the City's water system to meet the requirements of the *Michigan Safe Drinking Water Act 1976 PA 399, Part 12. Reliability* and *Part 16. General Plans*.

SCOPE OF SERVICES

J&A shall meet with the appropriate staff from the City to review the project scope and verify the intent of the project, review historical information, transfer documents, establish firm deliverable dates, and review applicable standards for the Water System Reliability Study.

- 1.1 A general plan of the entire water system, including treatment and distribution systems, and locations of valves, hydrants, storage tanks, water mains, pumps, and pumping facilities will be updated based on the requirements in the *Safe Drinking Water Act, Part 16, General Plans* using existing system drawings and GIS data available.
- 1.2 J&A shall also develop an inventory for all water mains by street to include size, material, and age, as required by the *Michigan Safe Drinking Water Act, Part 16. General Plans*, which will be presented on maps included in the Study.
- 1.3 J&A will include in the Study the City's current population and number of service connections, as required by the *Safe Drinking Water Act, Part 12. Reliability*.
- 1.4 J&A staff will use census population data, available planning documents, and consultations with City staff to develop a service area and population projections in five year increments to 2036, to meet the required 5 and 20 year water use projections required by the *Safe Drinking Water Act, Part 12. Reliability* and additional City requirements.
- 1.5 Based on current water usage/meter records provided by the City, projected population data (see above), the current City Zoning Map, and the City's current Land Use Plan and ordinances, J&A will develop the following water system demands for existing service area(s), as required by the City and the *Safe Drinking Water Act, Part 12. Reliability*, with input from City staff:
 - 1.5.1 Present Average Daily Demand;
 - 1.5.2 Present Maximum Daily Demand;

- 1.5.3 Present Maximum Hourly Demand;
 - 1.5.4 Present Fire Flow Demand (from current ISO Study);
 - 1.5.5 Projected Average Daily Demand (2021);
 - 1.5.6 Projected Maximum Daily Demand (2021);
 - 1.5.7 Projected Maximum Hourly Demand (2021);
 - 1.5.8 Projected Average Daily Demand (2036);
 - 1.5.9 Projected Maximum Daily Demand (2036);
 - 1.5.10 Projected Maximum Hourly Demand (2036);
 - 1.5.11 Projected Fire Flow Demand.
- 1.6 Monthly and annual production totals for the water treatment plant will be included in the Study as required by the *Safe Drinking Water Act, Part 12. Reliability*. Rated and firm capacities will be determined for developed water sources, treatment systems, storage tanks, and pumping facilities for the system and included, as required.
- 1.7 Annual usage totals for water supplied to other public water supplies will be included as required by the *Safe Drinking Water Act, Part 12. Reliability*.
- 1.8 Annual usage totals for each customer class, as determined by the City, will also be included, as required by the *Safe Drinking Water Act, Part 12. Reliability*.
- 1.9 The capacity with power interruption will be determined for the treatment and distribution systems as required by the *Safe Drinking Water Act, Part 12. Reliability*.
- 1.10 A water shortage response plan for emergencies will be included in the Study, as required by the *Safe Drinking Water Act, Part 12. Reliability*.
- 1.11 J&A will utilize the existing City H2ONET® water distribution system model and/or other available data to construct an updated water distribution system model. The updated model will be constructed using InfoWATER® modeling software. The model will include all water main 4-inch diameter and larger, storage facilities, reservoirs, regulating/control valves, and pumps, as necessary. The model will be calibrated to hydrant flow and pressure tests and used to analyze the system for deficiencies including excessive head losses, excessive velocities, and available fire flow and pressure deficiencies. It will be necessary to perform several hydrant tests to calibrate the system model. It is assumed that required hydrant tests, based on determined critical water system locations, will be performed by City staff with J&A staff available to record boundary conditions and results. It is estimated that approximately 50 tests will have to be performed for calibration purposes. Once the model has been constructed, calibrated, and

used for analyses it will be converted to an *H2ONET*[®] model format and transmitted to the City for use.

- 1.12 Pressure contour maps for existing and future demand scenarios, including peak demands, as described above will be developed and included in the Reliability Study, as required by the *Safe Drinking Water Act, Part 16, General Plan*.
- 1.13 Existing system reliabilities and deficiencies will be determined based on current maintenance issues and system modeling results and will be reviewed with City staff. The classification and reliability of the treatment system and the distribution system will be analyzed.
- 1.14 J&A will develop and recommend system improvements based on computer model results, analysis of water main break and maintenance records, analysis of water main age, size, and material, as presented in the GIS database, review of documents prepared by others, and discussions with City staff.
- 1.15 Planning cost estimates for recommended water system improvements will be prepared. Water system improvements will be prioritized in conjunction with City staff.
- 1.16 J&A will develop a Capital Improvement Plan, as required by the *Safe Drinking Water Act, Part 16 General Plans*, with assistance from City staff, for recommended improvements based on the results of the analyses described above and estimated costs associated with the improvements.
- 1.17 A service area map including existing and future service area boundaries will be developed, as required by the *Safe Drinking Water Act, Part 16. General Plans*.
- 1.18 J&A shall schedule monthly progress meetings with City staff during the course of the development of the Reliability Study in order to keep them informed regarding tasks accomplished during the period, work yet to be completed, a schedule for completion, project problems, and deviations from previously agreed upon Scope of Services.
- 1.19 J&A will prepare three draft copies and an electronic copy of the Water System Reliability Study and General Plan, including all required maps, to present to the City and meet with City staff to discuss the draft and necessary revisions needed for the final copy.
- 1.20 J&A staff will prepare and provide three hard copies and three electronic copies of the final Water System Reliability Study and General Plan containing the findings and recommendations.

RESPONSIBILITIES OF THE CITY

- The City shall designate a primary contact person who will be the liaison between J&A and the City.
- The City shall provide necessary information needed to complete the Water System Reliability Study including but not limited to:
 - quarterly customer billing/water usage records for the most recent four quarters;
 - Water Treatment Plant production records;
 - SCADA and control data such as pump curves and on/off operational data, etc.;
 - Tank configuration, volume, and level data;
 - Treatment plant operational data;
 - Water main break and system maintenance records.
- The City will provide a review of all documentation produced during the project in a timely manner.

Section 6
Project Schedule

Johnson & Anderson, Inc. anticipates the execution of the Water Reliability Study to take 14 weeks. The project will commence once Notice to Proceed is received from the City; J&A will schedule a kick-off meeting with the City to discuss the project, methodology, and schedule.

**CITY OF WYOMING - D.K. SHINE WATER TREATMENT PLANT
 WATER SYSTEM RELIABILITY STUDY
 PROJECT TIME LINE**

ID	Task Name	Week 1	Week 2	Week 3	Week 4	Week 5	Week 6	Week 7	Week 8	Week 9	Week 10	Week 11	Week 12	Week 13	Week 14	Week 15	Week 16
1	Meetings	◆															
2	Progress Meetings				◆			◆									
3	Information Gathering																
4	Update General Plan																
5	Computer Model Development/Updates																
6	Existing Demand Allocation																
7	Population Projections/Future Demand Development																
8	Future Demand Allocation																
9	Hydrant Flow and Pressure Tests (as needed)																
10	Computer Model Calibration																
11	System Analysis/Existing & Future Demands																
12	System Analysis/Deficiencies & Upgrades																
13	Development of Probable Costs																
14	Development of System Drawings																
15	Prepare Draft Report																
16	Draft Report Meeting																
17	Prepare Final Report																

Section 7
Proposed Cost

For services described in Section 5, SCOPE OF SERVICES, J&A proposes to charge and PRINCIPAL agrees to pay in accordance with the attached Rate Schedule. We estimate our fee will not exceed \$25,706.00 without prior approval of PRINCIPAL. Invoices shall be rendered monthly based on the actual hours expended times the rate shown on the Rate Schedule for the classification of the individual working on the project.

 **Johnson & Anderson**

Response To Request For Qualifications & Proposals
Professional Engineering Services
Water System Reliability Study
City of Wyoming

**EXHIBIT B
ENGINEERING COST ESTIMATION TABLE**

City of Wyoming - D.K. Shine Water Treatment Plant
Water System Reliability Study

Task	Principal Engineer VI	Project Manager Engineer V	Project Engineer Engineer IV	Engineer III	GIS Technician V	GIS Specialist	Technician III	Clarion	Total
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Water Reliability Study	\$ 130.00	\$ 120.00	\$ 100.00	\$ 80.00	\$ 65.00	\$ 74.00	\$ 73.00	\$ 62.00	
Engineering									
Kick-Off Meeting and Progress Meetings	\$ 1,040.00	\$ 950.00	\$ 800.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,800.00
Information Gathering	\$ -	\$ -	\$ 200.00	\$ 1,080.00	\$ -	\$ 285.00	\$ -	\$ -	\$ 1,575.00
Update General Plan	\$ -	\$ -	\$ 200.00	\$ -	\$ -	\$ 622.00	\$ -	\$ -	\$ 792.00
Computer Model Development/Updates	\$ -	\$ -	\$ 1,200.00	\$ -	\$ 190.00	\$ 622.00	\$ -	\$ -	\$ 1,982.00
Existing Demand Allocation	\$ -	\$ -	\$ 400.00	\$ -	\$ 190.00	\$ 148.00	\$ -	\$ -	\$ 738.00
Population Projections/Future Demand Development	\$ -	\$ -	\$ 200.00	\$ 540.00	\$ -	\$ -	\$ -	\$ -	\$ 740.00
Future Demand Allocation	\$ -	\$ -	\$ 200.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200.00
Hydrant Flow and Pressure Tests	\$ -	\$ -	\$ 200.00	\$ 350.00	\$ -	\$ -	\$ 2,028.00	\$ -	\$ 2,678.00
Computer Model Calibration	\$ -	\$ 240.00	\$ 3,200.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,440.00
System Analysis/Existing & Future Demands	\$ -	\$ 240.00	\$ 1,200.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,440.00
System Analysis/Deficiencies and Upgrades	\$ 130.00	\$ 240.00	\$ 1,200.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,570.00
Development of Probable Costs	\$ 130.00	\$ 240.00	\$ 400.00	\$ 1,080.00	\$ -	\$ -	\$ -	\$ -	\$ 1,850.00
Development of System Drawings	\$ -	\$ -	\$ 400.00	\$ -	\$ -	\$ 988.00	\$ -	\$ -	\$ 1,388.00
System Reliability Analysis	\$ 130.00	\$ 480.00	\$ 400.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,010.00
Prepare Draft Report	\$ 130.00	\$ 480.00	\$ 800.00	\$ -	\$ -	\$ 298.00	\$ -	\$ 208.00	\$ 1,716.00
Prepare Final Report	\$ 130.00	\$ 240.00	\$ 400.00	\$ -	\$ -	\$ 266.00	\$ -	\$ 312.00	\$ 1,348.00
Subtotal	\$ 1,900.00	\$ 3,120.00	\$ 11,200.00	\$ 3,060.00	\$ 360.00	\$ 3,108.00	\$ 2,626.00	\$ 820.00	\$ 25,706.00
TOTAL LABOR									
TOTAL LABOR	\$ 1,900.00	\$ 3,120.00	\$ 11,200.00	\$ 3,060.00	\$ 360.00	\$ 3,108.00	\$ 2,626.00	\$ 820.00	\$ 25,706.00
GRAND TOTAL									
GRAND TOTAL									\$ 25,706.00

RESOLUTION NO. _____

RESOLUTION TO ACCEPT A PROPOSAL FROM THE ARCHITECTURAL GROUP
TO PROVIDE DESIGN SERVICES AND SPECIFICATIONS FOR THE
WATER TREATMENT PLANT NORTH TREATMENT FACILITY ROOF REPLACEMENT

WHEREAS:

1. As detailed in the attached Staff Report a proposal was received from The Architectural Group to provide design development, construction documents, bidding assistance and construction contract administration for the Water Treatment Plant North Treatment Facility roof replacement in the total estimated amount of \$34,600.00.
2. It is recommended the City Council accept the proposal.
3. Sufficient funds are available in the Water Treatment Capital account number 591-591-57300-986444.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council does hereby accept the proposal from The Architectural Group to provide design services and specifications for the Water Treatment Plant North Treatment Facility roof replacement in the total estimated amount of \$34,600.00.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

ATTACHMENTS:
Staff Report
Proposal

Kelli A. VandenBerg, Wyoming City Clerk

Resolution No. _____

STAFF REPORT

Date: July 26, 2016

Subject: Award of a Proposal for the Specifications and Drawings for Roof Repair of the Water Treatment Plant North Treatment Facility

From: Tom Wilson, Utility Maintenance Manager

Date of Meeting: August 1, 2016

RECOMMENDATION:

It is recommended that City Council authorize entering into an agreement with The Architectural Group, Inc. to develop the drawings and specifications necessary for bidding a project for removal of the existing ballasted roof and the placement of a new adhered EPDM roof on the North Treatment Facility at the Water Treatment Plant. The cost for this project is \$34,600.00.

SUSTAINABILITY CRITERIA:

Environmental Quality – The Utilities Department is actively engaged in the protection of Michigan’s natural water environment and the public health of Wyoming’s citizens. As part of our efforts to continue making a positive impact on the environment, it is necessary that our infrastructure and the equipment that keeps it running are maintained in a safe, reliable, and optimal working condition.

Social Equity – The Utility function within the City of Wyoming provides the same high quality service to all areas of the City without regard to income level or socio-economic status. All of Wyoming’s residents enjoy equal access to the benefits of our state-of-the-art wastewater and drinking water treatment technologies.

Economic Strength – Regular and proper upkeep of City facilities contributes to the efficiency of the equipment, and to the prevention of untimely and costly repairs or replacement that could potentially interrupt the day to day operations of the Utility Plants.

DISCUSSION:

The Water Treatment Plant’s North Treatment Facility utilizes a ballasted roofing system that covers approximately 63,000 square feet. According to Plant records, this roof has passed its life expectancy of 20 years. There are many areas that are showing extreme wear and are subject to leaks. The roof is to be replaced with a new adhered EPDM roof system, and the work of replacing the old roof will be competitively bid. To bid the project out, it is necessary to develop comprehensive drawings and specifications. We have learned from past experience that The Architectural Group (TAG) is well suited to develop these drawings and specifications. In the spring of 2016 the Clean Water Plant entered into an identical agreement with The Architectural Group, Inc. to develop the drawings and specifications for the installation of the roof over the Clean Water Plant laboratory. Because of their excellent work and the clarity of the specifications the project came in under budget.

BUDGET IMPACT:

Based on the information presented, it is recommended that the City Council accept the proposal from The Architectural Group to provide the drawings and specifications necessary for bidding a re-roof on the North Treatment Facility in the amount of \$34,600.00. Adequate funds exist in the Water Treatment Capital Account #591-591-57300-986.444.

Attachments: TAG Proposal



The Architectural Group, Inc.
 3100 Prairie Street, S.W.,
 Grandville, MI 49418

Ph: (616) 531-7040

July 26, 2016

Mr. Myron Erickson
 City of Wyoming Clean Water Plant
 2350 Ivanrest Ave. SW
 Wyoming, MI 49418

Re: Architectural Services Proposal
 Roof Bid Documents
 City of Wyoming Water Treatment Plant
 16700 New Holland Street
 Holland, Michigan

Dear Myron,

Please allow this letter in follow up to our discussions with Tom Wilson and Ron Elenbaas. Based on our discussions, we understand the project to include removal of the existing ballasted EPDM roof and placement of a new adhered EPDM roof. The areas are noted on the attached Partial Roof Plan as Area 'A' – Area 'E', approximately 46,100 s.f. and a bid alternate to add Area 'G', approximately 17,000 s.f. Also included, is to add a roof top unit for treatment rooms in Area 'C' and Area 'D'.

Please allow the following as an outline of our proposed work and probable fees:

I. Construction Documents:

With your permissions to proceed, we will develop drawings and specifications for bidding and reroofing and adding the RTU's. We anticipate a roof plan with a few details and a limited specification narrowing acceptable EPDM products, insulation and flashing. We have also included the City Instruction to Bidders using the same format we used for the Clean Water Plant lab reroof.

Fee: \$29,800.00*

*Included within Item V. is an allowance of \$3,500.00 to use JDH Engineering, Inc. to verify roof capacity for the new rooftop units. We will need copies of the original blue prints for this structural analysis.

II. Reimbursable Expenses:

Please allow the following in regards to reimbursable expenses:

- Plotting, printing and mileage Allowance Fee: \$2,000.00
- Construction administration (hourly) Allowance Fee: \$2,800.00

Total Fee: \$4,800.00

Fee Summary:

I.	Construction Documents	Fee:	\$29,800.00
II.	Reimbursable Expenses	Allowance	Fee: \$ 4,800.00
		Total Estimated Fee:	\$34,600.00

Myron, we appreciate your continued confidence in The Architectural Group, Inc. We look forward to 'partnering' with you again!

If you have any questions, please give me a call.

Sincerely,

THE ARCHITECTURAL GROUP, INC.

A handwritten signature in black ink, appearing to read 'DJB', written in a cursive style.

Daniel J. Bode
Chief Operating Officer

Cc: Tom Wilson

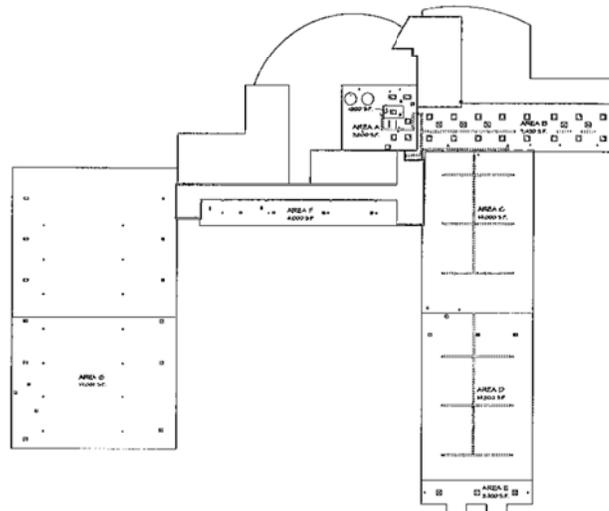
TAG

The
Architectural
Group, Inc.
Architects
Planners
3180 Pacific S.W.
Crested Butte, MO 65118
Phone 636.512.2600
Fax 636.512.0211
www.thearchgroup.com

Proposed Re-roofing for
**Wyoming
Water Treatment Plant**
Holland, MI

By: JAS
App: DJS
Date Issued For
6/18/2008
File No. 1606-1
Drawing
A.1

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ROOF AREA SCHEDULE	
AREA A ESTIMATED	2400 SF
AREA B	1400 SF
AREA C	1100 SF
AREA D	1200 SF
AREA E	2300 SF
AREA F	400 SF
TOTAL	10800 SF

AREA G ESTIMATED	1100 SF
---------------------	---------

1/2" = 1'-0" (VERTICAL)
 1/8" = 1'-0" (HORIZONTAL)
 1/4" = 1'-0" (DIAGONAL)
 1/16" = 1'-0" (CIRCULAR)

RESOLUTION NO. _____

RESOLUTION TO ACCEPT A QUOTE FROM PERKIN ELMER FOR AN
INDUCTIVELY COUPLED PLASMA OPTICAL EMISSION SPECTROMETER (ICP)

WHEREAS:

1. As detailed in the attached Staff Report quotes were received to replace the inductively coupled plasma optical emission spectrometer (ICP) at the Clean Water Plant.
2. It is recommended the City Council accept the quote received from Perkin Elmer in the amount of \$64,230.03.
3. Sufficient funds are available in the Sewer Fund Capital Outlay Miscellaneous Equipment account number 590-590-54400-980074.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council does hereby accept the quote from Perkin Elmer for an inductively coupled plasma optical emission spectrometer (ICP) in the total amount of \$64,230.03.
2. The City Council does hereby waive the provisions of Sections 2-252, 2-253, 2-254 and 2-256 of the City Code regarding publication and posting of bid notices, notification of bidders and the bid opening procedure.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

ATTACHMENTS:
Staff Report
Proposal

Kelli A. VandenBerg, Wyoming City Clerk

STAFF REPORT

Date: 26 July 2016
Subject: Metals Analysis Instrument Purchase Recommendation, CWP
From: Myron Erickson, PE, Deputy Director of Public Works
Meeting Date: August 1, 2016

RECOMMENDATION:

I recommend the purchase of a new Inductively Coupled Plasma Optical Emission Spectrometer (ICP) consistent with the attached quote from Perkin Elmer in the amount of \$64,230.03.

SUSTAINABILITY CRITERIA:

Environmental Quality – The Clean Water Plant is actively engaged in the protection of Michigan’s natural water environment and the public health of Wyoming’s citizens. A large part of this work is conducting laboratory analysis to quantifiably document our compliance with permit limitations and treatment success. This instrument is used to analyze the heavy metals content of a water sample.

Social Equity – The Utility function within the City of Wyoming provides the same high quality service to all areas of the City without regard to income level or socio-economic status. All of Wyoming’s residents enjoy equal access to the benefits of our state-of-the-art wastewater and drinking water treatment technologies.

Economic Strength – By maintaining our own independent laboratories in the Utilities Department, we are able to keep our costs as low as possible, while generating more analytical data in which we have higher confidence.

DISCUSSION:

An inductively coupled plasma spectrometer (ICP) is used in the lab at the Clean Water Plant to quantify the concentration of heavy metals in water samples. Our current instrument is nine years old and is technologically obsolete. Several weeks ago it failed to start entirely, and the service quote to repair it was \$12,000. Since we had already budgeted to replace it with a new unit in FY 2017, further investment in the unit seemed unwise. We are currently sending samples to a private laboratory for analysis, which is costly and time consuming.



We invited four companies to come and present their wares to us. Only two responded, Perkin Elmer and Thermo Scientific. Since we currently use a Perkin Elmer instrument, we know that their products and after-sales service are excellent. We run other Perkin Elmer instruments in the laboratories and have had excellent experiences with them as well. Although the fundamental technology used by different manufacturers may be the same, the instruments themselves have different operating systems, user interfaces, computer requirements, etc. Given our experience with Perkin Elmer, and the time-critical nature of this purchase, I am recommending that we expedite the normal purchasing process by accepting Perkin Elmer's quote. Bypassing the normal bidding process would save weeks of time, and would offer the following advantages:

- Compatible software platform. This would allow for migration of our current methods, data, etc. from the existing instrument. This will cut weeks from the time that we would otherwise dedicate to method development and a required demonstration of capability on a new brand of instrument. Currently we have two technicians familiar with the Perkin Elmer software.
- During the time the current instrument is down, we must send samples to a contract lab. This costs us about \$2250 per week, but this only includes compliance samples, not due diligence samples. So the real need is actually much higher.
- This type of instrument consumes argon gas. Argon consumption with the new Perkin Elmer instrument is 30-40% less than our current model and other comparable products on the market. This will save about \$10,000 per year.
- The Perkin Elmer instrument has the smallest footprint of instruments currently on the market (about 1/3 the size of our current model). Even with the recent laboratory remodel, bench top space is still very valuable.
- Perkin Elmer has a reputation for excellent service. Purchasing their instrument now would mean we'd keep the same service tech we've had for two decades.



BUDGET IMPACT:

Sufficient funds for the replacement of this instrument were budgeted for and are available in the Sewer Fund Capital Outlay Miscellaneous Equipment Account #590-590-54400-980074.

The attached quote includes shipping and setup in our laboratory.

Attachments: Perkin Elmer Quote



PerkinElmer Health Sciences Inc.
710 Bridgeport Avenue
Shelton, CT 06484-4794

Phone: 1-800-762-4000
Fax: (203) 944-4914

Quotation

To: JAIME FLEMING
CITY OF WYOMING
2350 IVAN REST SW
GRANDVILLE MI 49418

QUOTE NO.: 21113135
QUOTE VALID TO: 09/23/2016
QUOTE DATE: 07/26/2016
PAY. TERMS: Due Upon Receipt
FREIGHT TERMS: FOB Factory - Freight Quoted
ULTIMATE DEST.: UNITED STATES OF AMERICA

TELEPHONE NO. 616 261 3595
FAX NO.
YOUR REFERENCE

ITEM	MATERIAL	DESCRIPTION	QTY/EA	UNIT PRICE	TOTAL
1	N0790011	Avio 200 Concentric Spectrometer Material Discount Avio 200 ICP Optical Emission Spectrometer Cyclonic spray chamber / Concentric nebulizer system	1	67,100.00	67,100.00 18,117.00-
<p>Capable of handling even the most difficult, high-matrix samples without dilution, the Avio# 200 system brings a whole new level of performance and flexibility to ICP. What's more, that unprecedented performance comes with unparalleled ease-of-use. Unique hardware features and the industry's most intuitive software combine to make multi-element measurements as easy as single-element analyses.</p> <p>PerkinElmer's Avio# 200 ICP-OES is a compact, bench-top ICP-OES that combines a vertical plasma design with a host of unique hardware features to handle even the most difficult, high-matrix samples without dilution, delivering a whole new level of performance and flexibility to ICP. These include:</p> <ul style="list-style-type: none"> # RF generator with Flat Plate# plasma technology generates a robust, matrix-tolerant plasma using half the argon of other systems; # Patented Dual View capability measures every wavelength with no loss of light or sensitivity; # Full-wavelength-range CCD array detector measures the wavelength range around the emission line of interest#simultaneously#for superior precision. <p>The smallest ICP on the market, Avio 200 offers the most efficient operation, reliable data, and lowest cost of ownership by delivering:</p> <ul style="list-style-type: none"> # The lowest argon consumption of any ICP (only 9 L/min versus 21 L/min required by other systems) 					

SEND PURCHASE ORDERS TO:
PerkinElmer Health Sciences, Inc.
710 Bridgeport Ave.
Shelton, CT 06484-4794
Phone: 1-800-762-4000
Fax: (203) 944-4904
Email: USInstrumentOrders@perkinelmer.com

SALES REPRESENTATIVE: ANN GORDON
PREPARED BY: Liliana Rodriguez

ACCEPTANCE OF THIS QUOTATION IS LIMITED TO THE ATTACHED TERMS AND CONDITIONS
TERMS SUBJECT TO CREDIT APPROVAL



PerkinElmer Health Sciences Inc.
710 Bridgeport Avenue
Shelton, CT 06484-4794

Phone: 1-800-762-4000
Fax: (203) 944-4914

Quotation

To: JAIME FLEMING
CITY OF WYOMING

QUOTE NO.: 21113135
QUOTE VALID TO: 09/23/2016
QUOTE DATE: 07/26/2016

ITEM	MATERIAL	DESCRIPTION	QTY/EA	UNIT PRICE	TOTAL
		<p># The fastest ICP startup (spectrometer ready in just 10 minutes from power on) # Superior sensitivity and resolution for all elements of interest # The widest linear range</p> <p>Power Requirements: One 200-230 VAC, 20A line, 2800 VA, single phase, 50/60 Hz (+-1%)</p> <p>Included Power Cords: IEC60309 250 V 16/20 A 2 pole plus protective earth plug</p> <p>Dimensions: 65 x 81 x 76 cm (W x H x D)</p> <p>Product Weight: 132 kg</p> <p>Warranty: Standard 12-Month Warranty</p> <p>Installation: Included</p> <p>Requires but not included: A fully configured Avio 200 system also requires a controller assembly (consisting of a suitably configure computer, printer and Syngistix for ICP software), a chiller and, optionally, an autosampler.</p>			
2	N0770630	Installation Solutions Kit Mat'l Disc Exclulsiv	1	623.00	623.00 623.00-
3	N0772046	WhisperCool Chiller 1HP 230V/60Hz Material Discount: 1HP Whispercool# Chiller Cooling Capacity @ 20C: 2650 watts on 50Hz, 2900 watts on 60Hz Pump Flow: 3.5 gpm / 13.2 lpm Pump Pressure (adjustable): 90 psi maximum / 6.9 bar maximum (preset at 55 psi) Microprocessor-based temperature controller Large, easy to read digital temperature display (°C or °F) Cool Command# modulated refrigeration system for enhanced temperature stability and extended compressor life	1	5,100.00	5,100.00 1,020.00-



PerkinElmer Health Sciences Inc.
710 Bridgeport Avenue
Shelton, CT 06484-4794

Phone: 1-800-762-4000
Fax: (203) 944-4914

Quotation

To: JAIME FLEMING
CITY OF WYOMING

QUOTE NO.: 21113135
QUOTE VALID TO: 09/23/2016
QUOTE DATE: 07/26/2016

ITEM	MATERIAL	DESCRIPTION	QTY/EA	UNIT PRICE	TOTAL
		Chiller is designed for indoor installation in ambient temperatures between 5° and 30°C (41° and 86°F), relative humidity should not exceed 80% (non-condensing) Sound measurement @ 1 meter away: 65dBA (full load) / 62dBA (no load) Electrical Requirements: 50Hz: 240V / 1PH / 12.2 Amps Electrical Requirements: 60Hz: 208-230V/ 1PH / 12.2 Amps Dimensions: 27.6" L x 14.5" W x 22.6" H / 70.2cm L x 36.8cm W x 57.5cm H Shipping Weight: 99 lbs / 90 kgs Manufacturer's Warranty: 2 years parts & labor			
4	N0780201	Syngistix ICP Controller Material Discount	1	4,590.00	4,590.00 2,295.00-
5	09991420	Mains Lead USA 2M 125V 16A LINE CORD Suitable for North America.	1	43.00	43.00
6	N0205010	Optima ICP Training New Inst Train Disc 3 day course conducted at a PerkinElmer Technical Center.	1	2,050.00	2,050.00 2,050.00-
7	N0777212	SC-2 DX Autosampler Material Discount	1	9,800.00	9,800.00 1,960.00-
8	REGDELICP	Regular Delivery Sales Discount	1	1,989.03	1,989.03 1,000.00-
9	ICPN0790011POS0	Ext Warranty Avio 200 Cycl/Concentric OPTIONAL ITEM The total price for 12 months is \$4,980.00	12	415.00	
Total Net Price in USD:					64,230.03

Optional items not included in total

Customized Financing Solutions are available - We offer competitive rates with a wide range of structures to assist in acquiring your PerkinElmer technology - Speak to your Sales Engineer.

Did you know that you can order selected products online at www.perkinelmer.com/shop?

RESOLUTION NO. _____

RESOLUTION TO ACCEPT A QUOTE FROM HECO INDUSTRIAL SERVICE GROUPS TO
REPAIR ONE TRANSFER PUMP MOTOR AT THE WATER TREATMENT PLANT
AND TO AUTHORIZE THE MAYOR AND CITY CLERK TO EXECUTE THE AGREEMENT

WHEREAS:

1. As detailed in the attached Staff Report quotes were received to repair one transfer pump motor at the Water Treatment Plant.
2. It is recommended the City Council accept the quote received from HECO Industrial Service Groups in the total estimated amount of \$12,011.00.
3. Sufficient funds are available in the Water Treatment Plant Repairs & Maintenance account number 591-591-55300-930000.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council does hereby accept the quote from HECO Industrial Service Groups to repair one transfer pump motor at the Water Treatment Plant in the total estimated amount of \$12,011.00.
2. The City Council does hereby authorize the Mayor and City Clerk to execute the agreement.

Moved by Councilmember:
 Seconded by Councilmember:
 Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

ATTACHMENTS:
 Staff Report
 Proposal

 Kelli A. VandenBerg, Wyoming City Clerk

Resolution No. _____

STAFF REPORT

Date: July 24, 2016
Subject: Award of Quote for Service on One Transfer Pump Motor
From: Tom Wilson, Utility Maintenance Manager
Date of Meeting: August 1, 2016

RECOMMENDATION:

It is recommended that the City Council award the quote from HECO Industrial Service Groups to repair one 200 horsepower Transfer Pump Motor at a cost of \$12,011.00 which includes delivery.

SUSTAINABILITY CRITERIA:

Environmental Quality – The Utilities Department is actively engaged in the protection of Michigan’s natural water environment and the public health of Wyoming’s citizens. As part of our efforts to continue making a positive impact on the environment, it is necessary that our infrastructure and the equipment that keeps it running are maintained in a safe, reliable, and optimal working condition.

Social Equity – The Utility function within the City of Wyoming provides the same high quality service to all areas of the City without regard to income level or socio-economic status. All of Wyoming’s residents enjoy equal access to the benefits of our state-of-the-art wastewater and drinking water treatment technologies.

Economic Strength – Regular and proper upkeep of city equipment contributes to the efficiency of the equipment, and to the prevention of untimely and costly repairs or replacement that could potentially interrupt the day to day operations of the Plant.

DISCUSSION:

Four (4) Transfer Pumps located at the Water Treatment Plant transfer water from the clear wells to the ground storage tanks in addition to supplying water to the High Service Pumps. These pumps are an integral part of providing water service to the City of Wyoming and our wholesale customers, especially during the hot days of summer. Recently, a 200 horsepower motor for one of these transfer pumps failed resulting in a power outage to a small portion of the Plant. Upon investigation by the Plant’s electricians, they concluded that the motor had shorted out to ground and probably would need to be rewound. Contact was made to four motor repair companies requesting a quote to rewind the motor. We received quotes from all four companies as follows:

HECO Industrial Service Group	\$9,673.00
Wylie Electric Motor Service	\$10,000.00
RAPA Electric	\$10,336.47
EMS	\$10,792.43

HECO Industrial Service Groups submitted the lowest bid and completed an inspection of the pump motor. As the Plant's electricians had expected, HECO concluded that the motor had grounded out and would need to be rewound. During their inspection, HECO also determined that some additional repairs should also be completed to keep the pump motor running at its optimum capacity. The carrier shaft fit and the drive end bearing are undersized, bolt holes on the drive end cap are broken, and the fan blades opposite the drive end of the rotor are cracked. With these additional repair items, the repair estimate increased to \$12,011.00. Given that we would ask the other bidders to provide these same additional repairs, we feel HECO's bid would still prove the lowest. We also have used HECO in the past and know them to provide excellent service.

BUDGET IMPACT:

Based on the information presented, it is recommended that the City Council accept the quote received for the repair of the 200 HP Transfer Pump Motor as submitted by HECO Industrial Service Groups in the amount of \$12,011.00. Adequate funds exist in the Water Treatment Plant Repairs & Maintenance Account #591-591-55300-930000.

Attachments:

Quotes (4)



HECO, INC.
 3509 S. BURDICK STREET
 KALAMAZOO, MI 49001
 Phone: (269)-381-7200
 Fax: (269)-381-0099

Job Quote

Job Quote No.:	003025
Quote Date:	06/30/16
Page:	1

Sold To:	Customer Number: 007490 CITY OF WYOMING ACCOUNTING DEPT. P.O. BOX 905 WYOMING, MI 49509-0905, Contact: TOM WILSON	Ship To:	Ship To Number: 007491 CITY OF WYOMING- W.W.T.P. 16700 NEW HOLLAND ST. HOLLAND, MI 49424
-----------------	--	-----------------	--

Description	Extension
Nameplate Data: HP:200, SYNC. RPM:900, VOLTAGE:460, FRAME:5008P, MFG:U.S., UP. BRG. #:7226-MG, L. BRG. #:6219-J, DESIGN:B, CODE:F, SF:1.15 PICK UP REPAIR JOB DISMANTLE FOR COMPLETE REWIND REWIND STATOR CLEAN AND RECONDITION ROTOR CLEAN AND PAINT ALL MAJOR PARTS LABOR & MATERIALS TO DIP STATOR CLEAN/GRIND VARNISH/VPI OFF STATOR/FIELD DYNAMIC BALANCE ROTOR ASSEMBLY ASSEMBLE ALL PARTS FINAL ELECTRICAL TEST FINAL TEST RUN MOTOR AT FULL RATED VOLTS PERFORM VIBRATION SPECTRUM ANALYSIS PREPARE, MASK, AND PAINT MOTOR FINAL GREEN TAGGING DELIVERY REPAIR JOB 7226BG BEARINGS 6219-J BEARING (ESTIMATED QTY 2) PAINT/HARDWARE MISC WINDING MATERIALS	

Quotation valid for 30 calendar days
 from the above date.
 Total is plus sales tax if applicable.
 Based Upon Our Standard Terms And Conditions.

Total	Continued ...
--------------	---------------

Received By: _____ **Date:** _____

Customer



HECO, INC.
 3509 S. BURDICK STREET
 KALAMAZOO, MI 49001
 Phone: (269)-381-7200
 Fax: (269)-381-0099

Job Quote

Job Quote No.:	003025
Quote Date:	06/30/16
Page:	2

Sold To:	Customer Number: 007490 CITY OF WYOMING ACCOUNTING DEPT. P.O. BOX 905 WYOMING, MI 49509-0905, Contact: TOM WILSON	Ship To:	Ship To Number: 007491 CITY OF WYOMING- W.W.T.P. 16700 NEW HOLLAND ST. HOLLAND, MI 49424
-----------------	--	-----------------	--

Description	Extension
<p>**QUOTE INCLUDES REWIND OF STATOR, BASED ON THE ASSUMPTION THAT THIS IS A RANDOM WOUND MOTOR**</p> <p>QUOTE INCLUDES (2) THRUST BEARINGS. IF ONLY (1) THRUST BEARING IS REQUIRED HECO WILL DEDUCT \$1,472.50</p>	

Quotation valid for 30 calendar days from the above date.
 Total is plus sales tax if applicable.
 Based Upon Our Standard Terms And Conditions.

Total	9,673.00
--------------	----------

Received By: _____ **Date:** _____

Customer

Horning, Karen

From: Dave D'Avignon [Dave@wylieelectric.com]
Sent: Thursday, June 30, 2016 3:02 PM
To: Wilson, Tom
Subject: RE: Wyoming WTP Motor Repair

Tom,

I would be glad to stop down and take a look at the 200hp motor my onsite charge is \$82hr. when would you like me to come down?

if the motor needs to be rewound I estimate the cost to be around \$10,000 that would include a complete overhaul new bearings balance etc.

Best Regards,

Dave D'Avignon
President



331 Carmen Drive
Ferrysburg, MI 49409
Dave@wylieelectric.com
(616)846-6131

From: Wilson, Tom [<mailto:WilsonT@wyomingmi.gov>]
Sent: Thursday, June 30, 2016 1:51 PM
To: Dave D'Avignon
Subject: RE: Wyoming WTP Motor Repair

Dave

Sorry for the delay I was out of the office. Attached is the pic that should have been attached in the first email.

*Tom Wilson
Utility Maintenance Manager
City of Wyoming
Ph. 616-261-3573*

*Please visit our City Manager's blog for information about the City of Wyoming,
http://www.wyomingmi.gov/blog_index.asp*

From: Dave D'Avignon [<mailto:Dave@wylieelectric.com>]
Sent: Wednesday, June 29, 2016 4:08 PM
To: Wilson, Tom
Subject: RE: Wyoming WTP Motor Repair

Tom,

I didn't get the the attachment with the name plate data if you could send that to me I can get you a quote.

Best Regards,

Dave D'Avignon
President



331 Carmen Drive
Ferrysburg, MI 49409
Dave@wylieelectric.com
(616)846-6131

From: Wilson, Tom [<mailto:WilsonT@wyomingmi.gov>]
Sent: Wednesday, June 29, 2016 2:26 PM
To: Dave D'Avignon
Subject: Wyoming WTP Motor Repair

Dave

Let me introduce myself, my name is Tom Wilson the Utility Maintenance Manager for both the Wyoming Drinking Water Plant and the Clean Water Plant. I have taken the place of and will be attempting to fill the shoes of Rick Velderman who recently retired in May.

I am seeking your interest in servicing a 200 hp US motor that according to our staffs analysis shows 1.8K ohms to ground. (see attached name plate data) Would you provide me a quote to perform the following.

Onsite inspection of motor to verify our findings unless you feel it is not necessary

My staff will disconnect the motor and get it ready for shipping

Pick up motor to bring to your shop

Inspect motor to verify the cause of failure at your shop

Provide me with a firm repair quote

Maker repair

Deliver motor back to the City of Wyoming Drinking Water Plant at 16700 New Holland Street, Holland, MI 49424

*Tom Wilson
Utility Maintenance Manager
City of Wyoming
Ph. 616-261-3573*



Rapa Electric Incorporated
 1173 Lincoln Road, Allegan, Michigan 49010
 (260) 673-3167 Fax: (260) 673-5811

Quote

Attn	cc
TOM WILSON	
Phone:	Fax:

Quote Number
SVE6000-5621
Job Number
121790

Customer Information

WYOMING CITY CLEAN WATER PLANT
 2350 IVANREST AVE SW
 WYOMING, MI 49418

Ship To Information

WYOMING CITY CLEAN WATER PLANT
 2350 IVANREST AVE SW
 WYOMING, MI 49418

Quote Date:	6/30/2016
Customer ID:	WYOMING-CWP
Quoted By:	TERRY McLAIN
RFQ #:	
Salesperson:	
Terms:	Net 30

Nameplate Information

ID	121790
Rating	200 HP
Frame	5008P
Rated V.	460

Ship Via: _____

Make	US MOTOR
RPM	885
Poles	8

Reason For Work: _____

Cause of Failure: _____

Required Work: SERVICE CALL TO TEST MOTOR. BRING BACK TO SHOP TO RECONDITON COMPLETE, PRECISION BALANCE ROTOR, REPLACE BEARINGS. \$3,214.77.

Comments: SERVICE CALL TO TEST MOTOR, BRING MOTOR BACK TO SHOP TO: REWIND STATOR, PRECISION BALANCE ROTOR, REPLACE BEARINGS. \$10,336.47.

SIGNATURE: _____ **DATE:** _____

PRINT NAME: _____ **PO# (If not yet issued)** _____



EMS Grand Rapids, Inc.

1057 Cottage Grove SE
 Grand Rapids, MI 49507
 Phone: (616)-243-8866
 Fax: (616)-243-4172

Job Estimate

Estimate No.:	K070116W
Quote Date:	07/01/16
Page:	1

Sold To:	Customer Number: 000980	Ship To:	Ship To Number:
	City of Wyoming PO Box 905 Wyoming MI 49509 Telephone: 000-000-00000 Fax: 000-000-0000		City of Wyoming Drinking Water Plant 16700 New Holland Rd Holland MI 49424

Item #	Description	Extension
	<p>Nameplate Data: US Electric, 200 HP, 900 RPM, 5008P Frame 460/3/60, ID # P11P1660537R-2</p> <p>Inspect Motor on Site to Confirm Failed Winding Pick up Motor at Drinking Water Plant on New Holland Rd Transport Motor to our Grand Rapids Repair Facility Disassemble and Inspect Remove Bearings and Check all Housings and Fits Rewind Stator With Two Dip and Bake Cycles Furnish and Install New Upper Angular Contact Bearing Furnish and Install New Lower Ball Bearing Reassemble Test Run at Rated Voltage (No Load) Paint and Prep for Shipment Return Motor to the New Holland Rd Facility</p> <p>Labor and material for the work outlined above</p> <p>Standard delivery is 5 to 7 working days depending on Work load at the time of order.</p> <p>Price is for the work outlined above only. Any additional Repairs found after inspection will be quoted and approved Prior to being undertaken.</p>	\$10,792.43

Quotation valid for 30 calendar days from the above date.

NET 30 DAYS

Total is plus sales tax if applicable.

Based Upon Our Standard Terms And Conditions.

Received By: _____ **Date:** _____

Customer

RESOLUTION NO. _____

RESOLUTION TO ACCEPT A PROPOSAL FROM THE ARCHITECTURAL GROUP
TO PROVIDE DESIGN SERVICES AND SPECIFICATIONS FOR THE
CLEAN WATER PLANT MAINTENANCE SHOP REMODEL PROJECT

WHEREAS:

1. As detailed in the attached Staff Report, a proposal was received from The Architectural Group to provide design development, construction documents, bidding assistance and construction contract administration for the Clean Water Plant Maintenance Shop remodel project in the total amount of \$31,000.00.
2. It is recommended the City Council accept the proposal.
3. Sufficient funds are available in the Sewer Fund Capital Outlay Plant Expansion Phase 2 account number 590-590-54400-98644.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council does hereby accept the proposal from The Architectural Group to provide design services and specifications for the Clean Water Plant Maintenance Shop Remodel Project in the total estimated amount of \$31,000.00.

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

ATTACHMENTS:
Staff Report
Proposal

Kelli A. VandenBerg, Wyoming City Clerk

Resolution No. _____

STAFF REPORT

Date: July 26, 2016

Subject: Award of Proposal for the Specifications and Drawings for Remodel of the Clean Water Plant Maintenance Shop

From: Tom Wilson, Utility Maintenance Manager

Date of Meeting: August 1, 2016

RECOMMENDATION:

It is recommended that City Council accept the proposal from The Architectural Group, Inc. to develop the drawings and specifications necessary for bidding a project to remodel the maintenance shop at the Clean Water Plant at a cost of \$31,000.00.

SUSTAINABILITY CRITERIA:

Environmental Quality – The Clean Water Plant’s entire mission is the protection of public health and environmental quality of the Grand River, which receives our treated effluent. This mission is best fulfilled when the plant’s facilities are kept up to date.

Social Equity – The Utility function within the City of Wyoming provides the same high quality service to all areas of the City without regard to income level or socio-economic status.

Economic Strength – Maintenance of the buildings, mechanical systems, and many pieces of equipment at the Clean Water Plant is necessary to its mission. Working with the architect who most recently designed our main building renovations (laboratory and office areas) will save us time and money because they are in possession of the building’s architectural details and are already familiar with its features.

DISCUSSION:

The Clean Water Plant’s main building houses several workgroups, each carrying out a different part of our dual mission of environmental protection and safeguarding public health. The biggest single area is our maintenance shop, a two-room facility that houses work areas used for the maintenance of everything found at the plant. The shop accommodates the work associated with the complete dismantling and repair of large and heavy pieces of equipment; the testing and repair of electronic devices; and the storage of parts and materials. It also contains the facilities we use for fabrication functions like welding, cutting, bending, etc. The shop has not been updated, expanded, or refurbished since the plant was expanded in 1974, and is badly undersized and out of date. In March, 2016, via City Council Resolution #25389 we entered into an agreement with The Architectural Group (TAG) to provide the conceptual and schematic designs for the shop. The drawings and specifications have been completed, allowing us to move forward to the next phase. We have budgeted for a complete remodeling and refurbishing of this critical work area and the actual construction and remodeling activities will be competitively bid.

We requested a proposal from The Architectural Group to provide Design Development, Construction Documents & Bidding, and Construction Contract Administration. We feel that The Architectural Group (TAG) is best suited to do this work because they have great familiarity with the building, its architectural details, and the most recent improvements made to the building. They have submitted a proposal for this service at a cost of \$31,000.00.

BUDGET IMPACT:

Based on the information presented, it is recommended that the City Council accept the proposal from The Architectural Group to provide the Design Development, Construction Documents, and Construction Contract Administration necessary for bidding to remodel the maintenance shop in the amount of \$31,000.00. Adequate funds exist in the Sewer Fund Capital Outlay Plant Expansion Phase 2 Account #590-590-54400-986.444.

Attachments: TAG Proposal



The Architectural Group, Inc.
3100 Prairie Street, S.W.,
Grandville, MI 49418

Ph: (616) 531-7040

July 26, 2016

Mr. Myron Erickson
City of Wyoming Clean Water Plant
2350 Ivanrest Ave. SW
Wyoming, MI 49418

Re: Architectural Services Proposal -- Maintenance Shop Renovations (Phase II)
City of Wyoming Clean Water Plant

Dear Myron,

In follow up to our initial proposal dated February 22, 2016, please allow this proposal as a fixed fee proposal to complete our work including construction documents, bidding assistance, and limited construction administration for the Maintenance Shop Renovations.

Based on our meeting today with the consultant team, we have the team in place to complete the construction documents based on the approved schematic design. With that prelude, please allow the following scope of work and related fees:

II. Design Development

- A. Review, evaluate, and modify schematic design plans.
- B. Establish project consultant team and goals.
 - Mechanical
 - Electrical
 - Structural
 - Interior design
- C. Assist Owner in furniture design and layout.
- D. Establish area and character of individual spaces.
 - Evaluate needs for each space i.e. architectural, mechanical, electrical, etc.
 - Determine materials and finishes required for each space.

III. Construction Documents & Bidding

- A. Prepare complete construction documents and specifications describing in detail the work to be done, materials, workmanship, finishes, equipment, bidding, and construction information. All construction documents will be CAD drawings.
- B. Assist the Owner in developing bidding documents and Instruction to Bidders.
- C. Assist the Owner in review of the General Contractor proposals and assist in selecting firms for interviews, if desired.

IV. Construction Contract Administration

- A. Based on the type of project and with the City team so knowledgeable in what you want, we anticipate limited construction administration. We will provide an allowance for our time and our consultants and bill as needed on an hourly basis.

Fees and Compensation:

Based on the project scope regarding your renovation needs and the preceding outline of architectural services, we propose the following fixed fees:

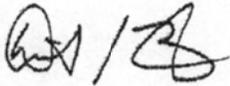
Step II:	Included Above
Design Development (Item II)	
Construction Documents & Bidding (Item III)	
Architectural	\$16,500.00
Structural	\$ 4,350.00
Interiors	\$ 1,650.00
Mechanical, Electrical, Plumbing	\$ 3,500.00
Construction Contract Administration (Item IV)	
Hourly Allowance:	\$ 4,000.00
Reimbursable Expenses	
Reimbursable expenses will be limited to plotting and printing.	
Allowance:	\$ 1,000.00
Step II Total Estimated Fee:	\$31,000.00

We appreciate your continued confidence in our work with the City of Wyoming. We can assure you that we will commit ourselves to provide the professional services that you anticipate, expect and deserve.

If you have any questions please give me a call.

Sincerely,

THE ARCHITECTURAL GROUP, INC.



Daniel J. Bode
Chief Operating Officer

RESOLUTION NO. _____

RESOLUTION FOR AWARD OF BID

WHEREAS:

1. Formal bids have been obtained on the below listed item.
2. The bids received have been reviewed and evaluated as per the attached Staff Report.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council does hereby award the bids for the listed item as recommended in the attached Staff Report and summarized below.

Item	Recommended Bidder	Cost
Waterworks Fittings	HD Supply Waterworks	Bid prices as shown on the attached tabulation sheet

Moved by Councilmember:

Seconded by Councilmember:

Motion Carried Yes
 No

I hereby certify that the foregoing Resolution was adopted by the City Council for the City of Wyoming, Michigan at a regular session held on August 1, 2016.

ATTACHMENTS:

Staff Report
Tabulation Sheet

Kelli A. Vandenberg, Wyoming City Clerk

STAFF REPORT

DATE: July 21, 2016
SUBJECT: Bid Award – Waterworks Fittings
FROM: Jodie Theis, Contracts and Procurement Supervisor
Date of Meeting: August 1, 2016

RECOMMENDATION:

It is recommended that the City Council award the bid for waterworks fittings to the low bidder, HD Supply Waterworks at the unit prices listed on the attached Bid Tabulation.

SUSTAINABILITY CRITERIA:

Environmental Quality

The Public Works Department is actively involved in the protection of Michigan's natural resources and the public's health and welfare. The use of waterworks fittings for water main repair allows for timely repair of these utilities that otherwise would need extensive excavation, repair and restoration.

Social Equity

Utility repairs are provided throughout the City without regard to income level or socio-economic status.

Economic Strength

The use of waterworks fittings allows the Public Works Department to provide utility repairs without removal of significant portions of water mains and costly restoration.

DISCUSSION:

On Tuesday, June 19, 2016, the City received two bids for waterworks fittings. Forty-two invitations to bid were sent to prospective bidders. The Public Works Department utilizes waterworks fittings to repair damaged water mains throughout the City. Water main breaks can be caused by several factors, including age, freezing or thawing of soil, pipe corrosion, soil conditions, or ground movement.

The Public Works Department is anticipating an estimated yearly total of \$25,000.00 for waterworks fittings. The total bid price is a decrease of 3% from last year's bid pricing.

BUDGET IMPACT:

Sufficient funds are available in the water maintenance account: 591-441-56200-775.000.

CITY OF WYOMING, MICHIGAN

TABULATION OF BIDS

ON WATERWORKS FITTINGS

Opened By City Clerk On June 19, 2016 At 11:00 a.m. o'clock

All bid prices reduced to net. All bid prices shown are firm for orders placed within one year from date of award of bid.

		HD Supply Waterworks			EJ USA, Inc.		
Item Description	Est. Qty	Unit Price	Total Price	Tyler Union Product	Unit Price	Total Price	Tyler Union Product
SLEEVES							
20" x 15"	2	\$953.00	\$1,906.00	x	\$1,276.33	\$2,552.66	x
24" x 15"	2	\$1,314.00	\$2,628.00	x	\$1,761.34	\$3,522.68	x
6" x 12"	10	\$89.00	\$890.00	x	\$176.43	\$1,764.32	x
8" x 12"	10	\$117.00	\$1,170.00	x	\$219.60	\$2,196.00	x
12" x 12"	6	\$237.00	\$1,422.00	x	\$401.34	\$2,408.04	x
16" x 15"	2	\$594.00	\$1,188.00	x	\$725.52	\$1,451.04	x
6" x 12" Sleeve, oversized	4	\$259.00	\$1,036.00	x	\$402.26	\$1,609.04	x
8" x 12" Sleeve, oversized	4	\$330.00	\$1,320.00	x	\$519.61	\$2,078.44	x
12" x 12" Sleeve, oversized	4	\$896.00	\$3,584.00	x	\$1,031.94	\$4,127.76	x
16" x 15" Sleeve, oversized	2	\$2,329.00	\$4,658.00	x	\$2,681.91	\$5,363.82	x
20" x 15" Sleeve, oversized	2	\$1,245.00	\$2,490.00	x			x
24" x 15" Sleeve, oversized	2	\$1,975.00	\$3,950.00	x			x
ITEMS FOR "D" VALVE BOXES							
3 Piece "D" Valve Boxes	75	\$164.99	\$12,374.25	x	\$164.87	\$12,365.25	x
6" Valve Box Extension	20	\$42.50	\$850.00	x	\$46.46	\$929.20	x
14" Valve Box Extension	10	\$41.75	\$417.50	x	\$40.26	\$402.60	x
18" Valve Box Extension	10	\$50.75	\$507.50	x	\$46.46	\$464.60	x
24" Valve Box Extension	10	\$51.50	\$515.00	x	\$49.55	\$495.50	x
Top Section	20	\$61.49	\$1,229.80	x	\$58.85	\$1,177.00	x
Mid Section	10	\$51.49	\$514.90	x	\$49.55	\$495.50	x
Base Section	0	\$38.00	\$0.00	x	\$42.33	\$0.00	x
Cover	50	\$12.00	\$600.00	x	\$14.14	\$707.00	x
MEGALUGS GLAND (Kit to include: Gland, Nuts, Bolts and Rubber Gasket)							
6" Megalugs Gland Kit	20	\$29.99	\$599.80	x	\$32.00	\$640.00	x
8" Megalugs Gland Kit	20	\$41.99	\$839.80	x	\$42.00	\$840.00	x
12" Megalugs Gland Kit	10	\$78.99	\$789.90	x	\$85.00	\$850.00	x
16" Megalugs Gland Kit	4	\$149.99	\$599.96	x	\$150.00	\$600.00	x
20" Megalugs Gland Kit	4	\$157.99	\$631.96	x	\$265.00	\$1,060.00	x
24" Megalugs Gland Kit	4	\$353.99	\$1,415.96	x	\$360.00	\$1,440.00	x
CUT-IN SLEEVE							
6"	20	\$504.00	\$10,080.00	x	\$664.05	\$13,281.00	x
8"	10	\$665.00	\$6,650.00	x	\$872.46	\$8,724.60	x
12"	6	\$1,087.00	\$6,522.00	x	\$1,415.46	\$8,492.76	x
Grand Total:		\$71,380.33			\$80,038.81		
24/7 emergency location within 15 miles of the City:		Yes			Yes		



June 28, 2016

Ms. Kelli A. VandenBerg
City Clerk
Wyoming, MI

Subject: Request to amend the Form Based Code Ordinance-
Chapter 90 Article 11.

Recommendation: To approve the subject amended Form Based Code.

Dear Ms. VandenBerg:

The above referenced request was reviewed by the Wyoming Planning Commission at its regular meeting on June 21, 2016. A motion was made by Hegyi, supported by Woodruff, to recommend the proposed Form Based Code amendments to City Council. The motion passed unanimously. While a more detailed review is available in the Planning Commission minutes, the following is provided as basic background information.

Amendment Information:

The proposed amendments pertain primarily to expanding the Form Based Code (FBC) by establishing standards that will be applicable to the Division Avenue corridor. Additional amendments include section references back to the recently reformatted Zoning Ordinance, allowances for divergence from required street cross sections, and an increase to light pole height. If the proposed FBC amendments are adopted, the City would then initiate the rezoning of the 4 ½ miles of Division Avenue within the City to FBC.

FBC Applicability to Division Avenue:

During the process of developing the FBC for 28th Street, it became apparent to many that its applicability may also be appropriate in other older established areas of the community. One such corridor, Division Avenue, was the City's primary commercial corridor prior to the development of U.S. 131. Businesses flourished serving the emerging neighborhoods that branched out along the corridor. Several hundred affordable post WWII housing units were constructed to meet the demand. As commercial development occurred along 28th Street in the 1960's and 1970's, it had a profound negative effect along Division Avenue as the economic focus was transferred. Population demographics changed along with buying habits leaving property decline and disinvestment. Division Avenue commercial properties may now be defined as an aged suburban corridor, with a

- MAYOR
Jack A. Poll
- AT-LARGE COUNCILMEMBER
Sam Bolt
- AT-LARGE COUNCILMEMBER
Kent Vanderwood
- AT-LARGE COUNCILMEMBER
Dan Burrill
- 1ST WARD COUNCILMEMBER
William A. VerHulst
- 2ND WARD COUNCILMEMBER
Richard K. Pastoor
- 3RD WARD COUNCILMEMBER
Joanne M. Voorhees
- CITY MANAGER
Curtis L. Holt

high preponderance of auto related business uses. However, the adjoining neighborhoods in very close proximity are stable, with affordable, working class homes. Public schools and parks are interwoven throughout the corridor. Area demographics now include sizable populations of African Americans, Latino-Hispanic and Asian people.

The Division Avenue corridor is also uniquely poised to take advantage of Federal, State and local investment opportunities in the future. In August 2014, the SilverLine Bus Rapid Transit (BRT) system became operational. This BRT represents a \$39 million investment in reinventing our community. The BRT is the centerpiece of the entire Grand Rapids metropolitan transit system. Its primary purpose is to link outlying residential areas with jobs, commerce, education, and entertainment in the downtown area. Its secondary purpose is to promote economic and housing opportunities along the corridor. The potential for new residential developments catered to those who are, or choose to be, less reliant on cars is significant. Such developments would replace older obsolete commercial developments. Residents within the corridor area will have more discretionary disposable incomes due to a lesser dependence on cars. This increase in corridor population, in conjunction with more disposable income, will provide opportunities for new business development that could take advantage of this.

Essential to enhancing these opportunities is the relationship of buildings to the public streets to make the corridor more pedestrian oriented. Buildings should be in close proximity to provide visual stimulation, promote merchandise, and define public space. Each development must contribute to, and reinforce, this overall concept. Gaps between buildings should be minimized to maintain continuity. Parking for vehicles should generally be provided to the side or rear of a business. The streetscapes must be attractive, vibrant and safe. These concepts to promote walkability and street vitality were put forward by Dan Burden, an internationally renowned community reinventing expert, with his Division Avenue audit that was held along this corridor in August 2012.

Collaboration with the City of Kentwood:

In February 2014, the Cities of Wyoming and Kentwood formed a joint steering committee to consider the desirability of applying different zoning requirements to the Division Avenue corridor. Ideally, both communities would have comparable development standards to evolve the corridor unto a cohesive place. This compatibility would also provide confidence to developers that redevelopment investments would integrate with future surrounding projects. The committee was comprised of representatives from the Planning Commission, City Commission and planning department staffs of both Wyoming and Kentwood. In addition, the committee members included business owners, public school administrators and

commercial real estate professionals active in the corridor. Division Avenue extends 4 ½ miles through the City of Wyoming from Alger Avenue to 60th Street. It extends over two miles through Kentwood from 43rd Street to 60th Street along the east side of Division Avenue.

Through evaluation for over a year, the committee determined that the FBC developed for 28th Street would also be appropriate for Division Avenue, however in a condensed format. They found that two of the six context areas within the established FBC, along with most of the associated standards, would be appropriate for Division Avenue. The two context areas are Corridor General and Corridor Edge. The Corridor Center, Corridor Urban, Corridor Sub-Urban, and Corridor Neighborhood context areas were dismissed primarily due to a desire to integrate new development with the existing development pattern of the corridor.

The existing development pattern of Division Avenue generally encompasses small, narrow lots, with limited depth beginning just south of 50th Street and extending north into Grand Rapids. Many of these post WWII developments placed the buildings in close proximity to the street. It is in this area that the Corridor General Area would be applied. The corridor south from this point opens up to much larger parcels with a much greater depth. The development pattern here is newer and more suburban. It is here that the Corridor Edge Area would be applied (see attached context area map). Throughout the corridor, it is the intention to replace the existing B-2 General Business zoning with the FBC for those frontage properties. The abutting neighborhoods would remain untouched through this rezoning. If a development proposal were to come forward that would need additional residential properties to be both viable and community desirable, that would be evaluated through the public hearing process on a case-by-case basis.

It should also be noted that The City of Kentwood is currently developing their own FBC, guided heavily by the City of Wyoming FBC, to be implemented along their portion of the corridor.

Additional FBC Amendments:

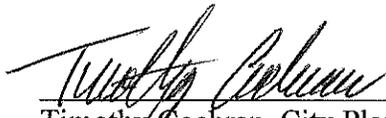
(1) With the recent adoption of the reformatted Zoning ordinance, all reference numbers within the current FBC linking the two distinct, but yet connected, ordinances need to be amended. The reference amendments are scattered throughout the ordinance.

(2) The City has been working closely with the owners of Wyoming Village Mall and Studio 28 properties to construct the critical crescent street (28West Place) to implement the master plan for this area. The public street design has been

modified significantly from that required under the FBC to fit it with the existing commercial buildings and parking lots and yet obtain the desired streetscape enhancements. Amendments under Section 90-1800 Thoroughfare Guidelines provides for the City to deviate from the required street cross sections when existing conditions or other physical constraints warrant design changes.

(3) Under Section 90-1311 Lighting, light fixtures are currently limited to no more than 15 feet in height in the FBC districts. This may be compared to a 50 foot height allowed in other areas of the City. Further evaluation of this requirement suggests that it may be too limiting in transitioning the FBC designated areas of the City. An increase to a 25 foot height limit is proposed.

Respectfully submitted,



Timothy Cochran, City Planner
Planning and Development Department

cc: Curtis Holt, City Manager
Rebecca Rynbrandt, Director of Community Services

JRS/sak
07/05/16

ORDINANCE NO. 11-16

AN ORDINANCE TO AMEND ARTICLE 11 OF CHAPTER 90
OF THE CODE OF THE CITY OF WYOMING

THE CITY OF WYOMING ORDAINS:

Section 1. That Article 11 of Chapter 90 of the Code of the City of Wyoming is hereby amended to read as follows:

ARTICLE 11
FORM BASED CODE

Section 2. This ordinance shall be in full force and effect on the _____ day of _____, 2016.

I hereby certify that the above-entitled Ordinance was adopted by the City of Wyoming at a _____ session of the City Council held on the _____ day of _____, 2016.

Kelli A. Vandenberg
Wyoming City Clerk

Ordinance No. 11-16

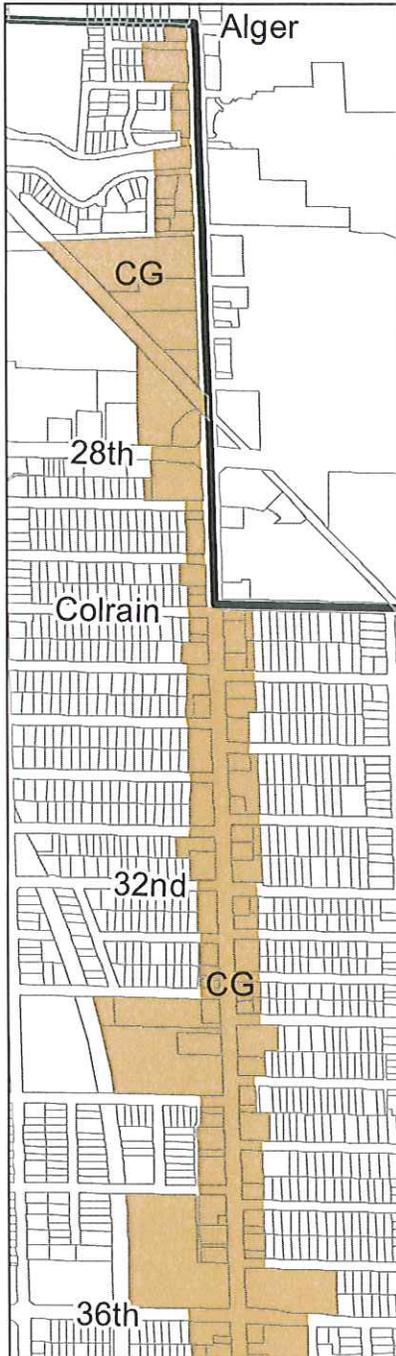
ARTICLE 11 DIVISION 4

CONTEXT AREAS AND USE

90-1404 DIVISION AVENUE CORRIDOR CONTEXT AREA MAPS

Map 90-1404 divided into three sections to depict entire Division Avenue corridor

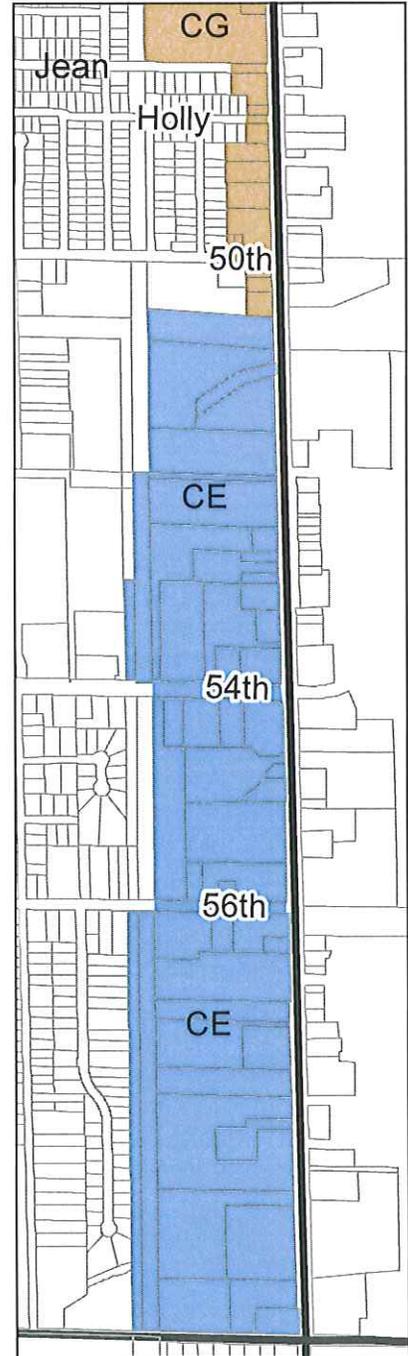
SECTION 1: ALGER ST. TO 36TH ST.



SECTION 2: 36TH ST. TO JEAN ST.



SECTION 3: JEAN ST. TO 60TH ST.



CHANGES ON THIS PAGE NEW PAGE WITH MAPS

Legend

- CG, Corridor General Context Area
- CE, Corridor Edge Context Area



1 Introduction	2 Title, Purpose & Scope	3 Applicability & Procedures	4 General Provisions	5 Context Areas & Use	6 Subdivision & Access	7 Building Types
8 Private Frontages	9 Thoroughfare Guidelines	10 Off-Street Parking	11 Sign Standards	12 FBC Definitions	City of Wyoming Zoning Ordinance	

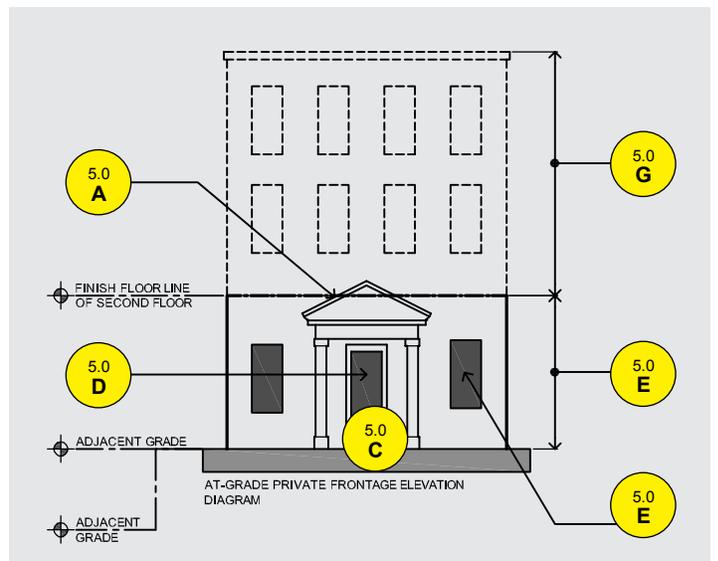
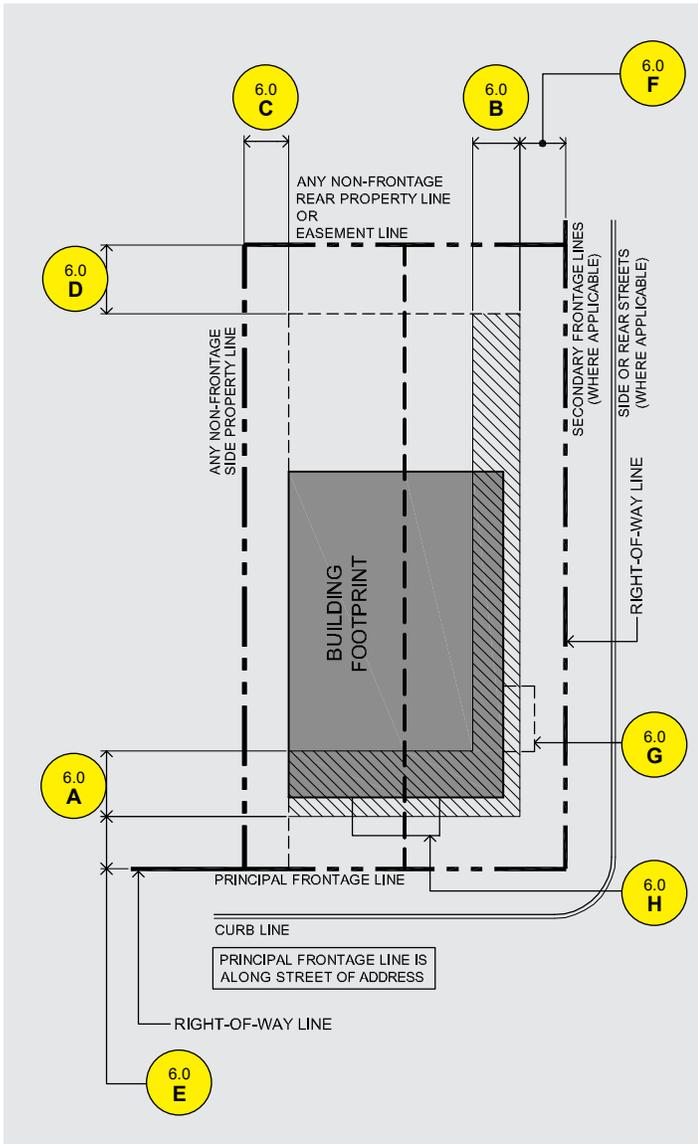
CITY OF WYOMING

CHAPTER 90

Article 11: FORM BASED CODE

Adoption Date: December 16, 2013

Amended Date: **xx**



Wyoming Form Based Code

Adopted: December 16, 2013

Amended: xx

The Wyoming Form Based Code regulates properties in the Form Based Code Areas along 28th Street and Division Avenue.

CITY OF WYOMING
PLANNING AND DEVELOPMENT DEPARTMENT
1155 - 28 th Street SW
Wyoming , MI 49509

Phone: 616.530.7266

Fax: 616.249.3442

<http://wyomingmi.gov/Planning/Planning.asp>

INTRODUCTION How to use Wyoming Form Based Code

DIVISION 1 Title, Purpose, and Scope

- 90-1100 Title
- 90-1101 Purpose
- 90-1102 Scope

DIVISION 2 Applicability and Procedures

- 90-1200 Applicability
- 90-1201 Full Sketch Plan/Sketch Plan Procedures
- 90-1202 Special Land Uses
- 90-1203 Form Based Code Departures
- 90-1204 Adoption and Amendment Date

DIVISION 3 General Provisions

- 90-1300 Applicability
- 90-1301 Bonuses and Incentives
- 90-1302 Encroachments
- 90-1303 Height Measurement of Buildings
- 90-1304 Outdoor Seating
- 90-1305 Transparency
- 90-1306 Civic Buildings
- 90-1307 Roof Top Screening
- 90-1308 Building Setback from Residential
- 90-1309 Building Height Transition Area
- 90-1310 Nonconformities
- 90-1311 Lighting
- 90-1312 Landscaping and Greenbelt

DIVISION 4 Context Areas and Use

- 90-1400 Purpose
- 90-1401 Applicability
- 90-1402 Context Areas
- 90-1403 28th Street Corridor Context Area Map
- 90-1404 Division Avenue Corridor Context Area Map
- 90-1405 Corridor Center (CC) Context Area
- 90-1406 Corridor Urban (CU) Context Area
- 90-1407 Corridor General (CG) Context Area
- 90-1408 Corridor Sub-Urban (CS) Context Area
- 90-1409 Corridor Edge (CE) Context Area
- 90-1410 Corridor Neighborhood (CN) Context Area

DIVISION 5 Subdivision and Access Standards

- 90-1500 Applicability
- 90-1501 Lot Requirements
- 90-1502 Block Requirements
- 90-1503 Access Requirements
- 90-1504 Driveway Requirements
- 90-1505 Platting Requirements

DIVISION 6 Building Type Standards

- 90-1600 Purpose
- 90-1601 Applicability
- 90-1602 Building Types by Context Area
- 90-1603 Contents of this Division
- 90-1604 How to Use this Division
- 90-1605 Standards for all Building Types
- 90-1606 Mixed Use Building Type
- 90-1607 Zero Lot Line Retail Building Type
- 90-1608 Retail Building Type
- 90-1609 Live / Work Building Type
- 90-1610 Apartment Building Type
- 90-1611 Rowhouse Building Type
- 90-1612 Two-Family House Building Type
- 90-1613 Single-Family House Building Type
- 90-1614 Materials and Technique

DIVISION 7 Private Frontage Type Standards

- 90-1700 Purpose
- 90-1701 Applicability
- 90-1702 Frontage Types by Building Type
- 90-1703 Contents of this Division
- 90-1704 How to Use this Division
- 90-1705 Standards for all Private Frontage Types
- 90-1706 Storefront Private Frontage Type
- 90-1707 Balcony Private Frontage Type
- 90-1708 Shopfront Private Frontage Type
- 90-1709 Drive-through Private Frontage Type
- 90-1710 At-Grade Private Frontage Type
- 90-1711 Lightwell Private Frontage Type
- 90-1712 Stoop Private Frontage Type
- 90-1713 Porch Private Frontage Type
- 90-1714 Materials and Technique

DIVISION 8 Thoroughfare Guidelines

- 90-1800 Purpose
- 90-1801 Applicability
- 90-1802 Thoroughfares by Context Area
- 90-1803 Contents of this Division
- 90-1804 How to Use this Division
- 90-1805 Guidelines for all Thoroughfares
- 90-1806 Guidelines for Avenue AV-110-66-C
- 90-1807 Guidelines for Street ST-60-35-C
- 90-1808 Guidelines for Street ST-110-66-R
- 90-1809 Guidelines for Yield Street YS-60-27-R
- 90-1810 Guidelines for Rear Alley RA-20-20-C
- 90-1811 Guidelines for Rear Alley RA-20-12-R

DIVISION 9 Off-Street Parking Standards

- 90-1900 Purpose
- 90-1901 Applicability
- 90-1902 Required Off-Street Parking Spaces
- 90-1903 Modification of Parking Requirements
- 90-1904 Parking Easements and Agreements
- 90-1905 Banked Parking
- 90-1906 Off-Street Parking Facility Design
- 90-1907 Parking Construction and Development
- 90-1908 Parking Structures
- 90-1909 Parking Facility Maintenance
- 90-1910 Limitations on Use of Parking Lots
- 90-1911 Off-Street Loading Requirements
- 90-1912 Driveway Access Management
- 90-1913 Parking Lot Landscaping

DIVISION 10 Sign Standards

- 90-2000 Purpose
- 90-2001 Applicability
- 90-2002 Exempt Signs
- 90-2003 Prohibited Signs
- 90-2004 General Sign Standards
- 90-2005 Specific Sign Requirement
- 90-2006 Off Premise Advertising
- 90-2007 Nonconforming Signs
- 90-2008 Dangerous, Unsafe, Abandoned, & Illegal Erected Signs
- 90-2009 Administration
- 90-2010 Sign Band Signs
- 90-2011 Wall Signs
- 90-2012 Projecting Signs
- 90-2013 Awning and Canopy Signs
- 90-2014 Window Signs
- 90-2015 Sidewalk Signs
- 90-2016 Ground Signs
- 90-2017 Table 90-2017 Sign Sizes
- 90-2018 Table 90-2018 Sign Quantity

DIVISION 11 Form Based Code Definitions

- 90-2100 Applicability
- Definitions A - Z

CHANGES ON THIS PAGE

i Introduction	1 Title, Purpose & Scope	2 Applicability & Procedures	3 General Provisions	4 Context Areas & Use	5 Subdivision & Access	6 Building Types
7 Private Frontages	8 Thoroughfare Guidelines	9 Off-Street Parking	10 Sign Standards	11 FBC Definitions	City of Wyoming Zoning Ordinance	

INTRODUCTION: HOW TO USE THE WYOMING FORM BASED CODE

FORM BASED CODES AND THE PUBLIC REALM

Form Based Codes are development regulations (a type of zoning code) that emphasize the physical character of development (its form) and de-emphasize the regulation of land use.

Form Based Codes emphasize the design of the public realm by regulating individual building character, streetscapes, and public spaces.

The public realm is the area defined by the building walls, the streetscape and the street.

The Wyoming Form Based Code is organized by Context Areas (similar to conventional zoning districts), Building Types, Frontage Types, and Thoroughfare Types. These elements provide standards for the creation of a public realm that is consistent with that envisioned the City of Wyoming Land Use Plan.

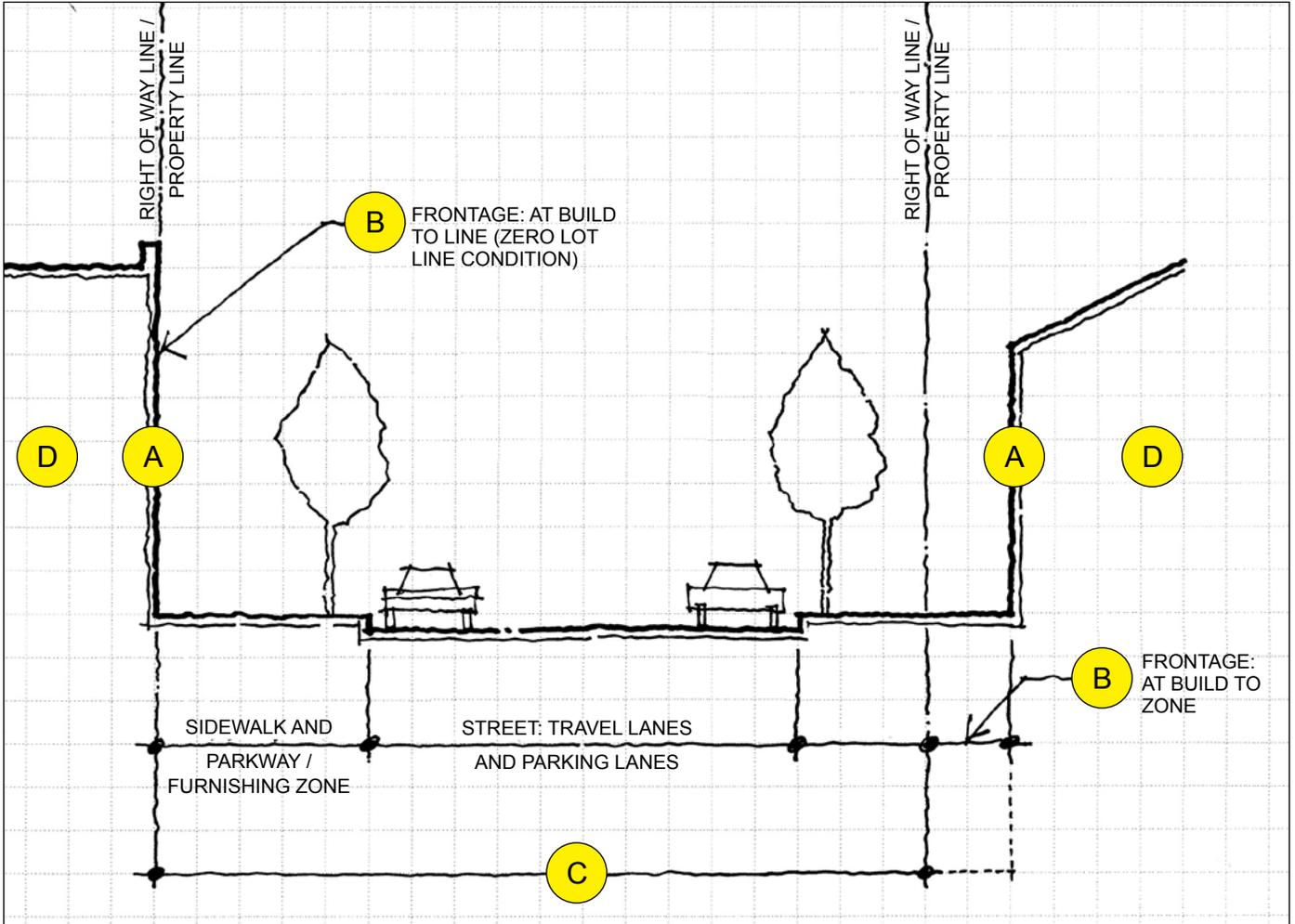
The Wyoming Form Base Code also regulates land use, parking requirements, signs, and subdivision standards.

The **Public Realm** illustration on this page indicates the components of the public realm and also references where each component is regulated within the Wyoming Form Based Code.

- A Building Type:** Division 6 contains standards for Building Types that describe the various forms of buildings that are permitted as part of this Form Based Code. Each Building Type has its own specific massing, composition, site placement, and vertical dimension.
- B Frontage Type:** Division 7 contains standards for Frontage Types that describe the privately owned area between the right-of-way line and the building. Frontage Types are applied to Building Types to ensure that the building engages the street and defines the public realm.
- C Thoroughfare:** Division 8 contains **guidelines** for the space between the right-of-way lines, including the sidewalk, parkway, furnishing zone, parking lanes, and travel lanes.
- D Use:** Division 4 contains use requirements for each Context Area. Context Areas are similar to conventional land use zoning districts. Each Context Area includes Building Types, building height, and includes permitted and special uses.

CHANGES ON THIS PAGE

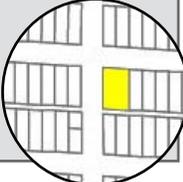
ILLUSTRATION: PUBLIC REALM AND RELATED FORM BASED REGULATIONS



INTRODUCTION: HOW TO USE THE WYOMING FORM BASED CODE

START HERE: Choose one of the following three scenarios that best fits your proposed development project

1 I HAVE A SPECIFIC PARCEL THAT I WANT TO DEVELOP



2 I HAVE A SPECIFIC USE THAT I AM CONSIDERING FOR MY LAND DEVELOPMENT



3 I HAVE A SPECIFIC BUILDING THAT I WANT TO DEVELOP



DIVISIONS 2, 3, and 5
 Review Division 2, Applicability and Procedures to understand the procedural requirements of the Wyoming Form Based Code.
 Review Division 3, General Provisions for regulations that apply to all projects within the Form Based Code Area.
 Review Division 5, Subdivision and Access Standards for regulations that apply to all projects within the Form Based Code Area.

DIVISION 4 CONTEXT AREAS AND USE
 Each Context Area has uses which are permitted, not permitted, and conditionally permitted.
 Determine which of the Context Areas that your specific parcel is located in.
 Once you have determined the Context Area, you can determine the uses that are most appropriate within the Context Area.

DIVISION 4 CONTEXT AREAS AND USE
 Each Context Area has uses which are permitted, not permitted, and conditionally permitted.
 Determine which of the Context Areas that the use you are considering is permitted in, this will allow you to determine the Context Areas and parcels within the Form Based Code Area that are most appropriate for your project.

DIVISION 6 BUILDING TYPE STANDARDS
 Determine which of the Building Types best fit the building that you want to develop. Consider building site placement, massing, composition, vertical dimensions, appropriate Private Frontages, and Context Areas where the Building Type is permitted, when making your decision.

DIVISION 4 CONTEXT AREAS AND USE
 Each Context Area has uses which are permitted, not permitted, and conditionally permitted.
 Determine which of the Context Areas that the Building Type you are considering is permitted in, this will allow you to determine the parcels within the Form Based Code Area that are most appropriate for your project and the types of uses that are permitted for your project.

DIVISION 6 BUILDING TYPE STANDARDS
 Determine which of the Building Types best fit the parcel and use that you want to develop. Consider building site placement, massing, composition, vertical dimensions, appropriate Private Frontages, and Context Areas where the Building Type is permitted, when making your decision.

DIVISION 7 PRIVATE FRONTAGE TYPE STANDARDS
 After you have determined your Building Type, you should reference the Private Frontage Types to determine the most appropriate frontage. Frontages are determined by your Building Type. It is your choice to determine the frontage that best fits your project goals and the context.

DIVISION 8 THOROUGHFARE GUIDELINES
 The Thoroughfare Guidelines will help you determine which streets and streetscapes are best suited to your project, if applicable. Thoroughfares are determined based upon the Context Area that your project is located in.

DIVISION 9 OFF-STREET PARKING STANDARDS
 The Off-Street Parking Standards will help you determine the parking requirements for your project.

DIVISION 10 SIGN STANDARDS
 Each Building Type has specific sign quantities and sign sizes that are relative to the Context Area that it is located in, this Division will assist you in determining the types, sizes, placement, and quantity of signs permitted for your project.

CHANGES ON THIS PAGE

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Introduction	Title, Purpose & Scope	Applicability & Procedures	General Provisions	Context Areas & Use	Subdivision & Access	Building Types
7	8	9	10	11	City of Wyoming Zoning Ordinance	
Private Frontages	Thoroughfare Guidelines	Off-Street Parking	Sign Standards	FBC Definitions		

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90-1100 TITLE

The following document shall be known as the City of Wyoming Form Based Code.

90-1101 PURPOSE

- A. The City of Wyoming Form Based Code is intended to support redevelopment in designated Form Based Code Areas in the City of Wyoming through the establishment of building type standards, frontage type standards, and thoroughfare guidelines. The purpose of the Form Based Code is to create a compact, transit-oriented development pattern that fosters multi-modal corridors, mixed-uses, and a diversity of residential development. Designated Form Based Code Areas are depicted in the City of Wyoming Zoning Map (located in chapter 90 of the City Zoning Ordinance) and include the following:
 1. 28th Street Corridor. Redevelopment within the 28th Street corridor between Clyde Park and Burlingame Avenues shall adhere to the provisions, standards, and guidelines established in this Form Based Code in order to support the vision set forth in the Turn On 28th Street Corridor Sub Area Plan (an amendment to the City of Wyoming Master Plan, adopted in January 2012) and the City of Wyoming Land Use Plan.
 2. Division Avenue Corridor. Redevelopment within the Division Avenue Corridor between Alger Street and 60th Street shall adhere to the provisions, standards, and guidelines established in this Form Based Code in order to support the goals of the City of Wyoming Land Use Plan, the tenants of Transit-Oriented Development (TOD), and the goals of the Rapid's Bus Rapid Transit (BRT) system (also known as the Silver Line).
- B. The City of Wyoming Form Based Code is a legal document regulating building types and frontage types, and guidelines for thoroughfare types wherever its Context Areas are applied. It shall do so in conjunction with the municipal Zoning Ordinance for areas zoned Form Based Code (FBC) on the zoning map, by regulating land development to ensure a compact, urban form.

90-1102 SCOPE

The City of Wyoming Form Based Code is a mandatory code that applies to all new development and redevelopment within the boundaries of the Zoning Map or other locations within the municipality where the applicable Context Areas have been applied as outlined in 90-1200, Applicability.

For the 28th Street corridor, the boundaries generally include all lands that about 28th Street from Clyde Park Avenue west to Burlingame Avenue.

For the Division Avenue corridor, the boundaries generally include all lands that abut Division Avenue from Alger Street south to 60th Street.

Within the City of Wyoming Zoning Ordinance, properties zoned and thus regulated by the City of Wyoming Form Based Code are within the Form Based Code (FBC) districts. This district directs property owners and applicants to this Code for development standards. Wherever there appears to be a conflict between the City of Wyoming Form Based Code and other sections of the City's Zoning Ordinance (as applied to particular development within the FBC districts), the requirements specifically set forth in the Form Based Code shall prevail.

For development standards not covered by the City of Wyoming Form Based Code, the other applicable sections in the municipal Zoning Ordinance shall apply. All development shall also comply with all other local, state or federal regulations and ordinances.

Throughout this Form Based Code, photographs are used for illustrative purposes only.

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i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
7	Private Frontages	8	Thoroughfare Guidelines	9	Off-Street Parking	10	Sign Standards	11	FBC Definitions	City of Wyoming Zoning Ordinance			

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i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
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90-1200 APPLICABILITY

The City of Wyoming Form Based Code shall apply to development within the boundaries of the Form Based Code Zoning Map. Development shall include the following:

- A. New development.
- B. Modifications to existing buildings:
 - 1. Increasing or decreasing a building footprint by twenty-five percent (25%) or greater in area or when the cost of the addition is greater than or equal to fifty percent (50%) of the current assessed value of the building or structure. Phased construction to avoid compliance with this standard or breaking up construction such that the thresholds are avoided shall be prohibited.
 - 2. Reducing the building façade by more than fifty percent (50%) in terms of the amount of transparency. Phased construction to avoid compliance with this standard or breaking up construction such that the 50% threshold is avoided shall be prohibited.
- C. Any change in land use substantially impacting parking requirements:
 - 1. The Planning Commission may, at the request of the applicant, waive the applicability of this Code upon a finding that adhering to the Code would place undue hardship on the applicant.

90-1201 FULL SITE PLAN/SKETCH PLAN PROCEDURES

- A. Full site plan/sketch plan. To expedite the development process, development within the City of Wyoming Form Based Code that complies with the provisions of this Code shall require full site plan or sketch plan review and approval by the City's Planner or Chief Building Official.
 - 1. Table 90-502 in the City of Wyoming Zoning Ordinance shall govern the type of submittal required, being either a full site plan or sketch plan.
 - 2. Review and approval shall be conducted by the City's Chief Building Official for single-family detached dwellings and modifications to comply with accessibility requirements.
 - 3. All other development activities outlined in Table 90-502 shall require review and approval of the City's Planner.
- B. Full site plan/sketch plan review procedures and requirements. Full site plan/sketch plan submittal and review shall follow the processes set forth in Sections 90-503 through 90-506 of the City of Wyoming Zoning Ordinance. Full site plan/sketch plan required data shall adhere to Table 90-504 of the City of Wyoming Zoning Ordinance, unless waived or required by the City's Planner per section 90-504.
- C. Planning Commission review. Full site plan review by the Planning Commission shall be required for any Special Land Use or Specific Development Plan. Review standards are included in Section 90-505 of the City of Wyoming Zoning Ordinance. Special Land Use standards specific to special uses regulated in this Form Based Code are included in Article 2, section F.
- D. Specific Development Plan. A Specific Development Plan is intended to allow applicants development flexibility to address market conditions and opportunities, including the master planning of large lots exceeding the maximum block dimensions as outlined in Division 5, as well as the consolidation of multiple properties to create predictable and market responsive development for the area. Specific Development Plans shall be required for any Major Departure as outlined in this Division 2, section 90-1203.

- 1. Specific Development Plan requirements. A Specific Development Plan shall include a full site plan and required data as outlined in Table 90-504.
- 2. Additional requirements include: A plan depicting the proposed Context Areas for the subject site(s) if major departures from the Context Area boundaries are requested, and thoroughfare guidelines.
- 3. Public Hearing: The applicant and/or Planning Commission may request a public hearing for a Specific Development Plan. A public hearing, pursuant to the Michigan Zoning Enabling Act, shall be required for a major departure of Context Area boundary.
- 4. Planning Commission action: The Planning Commission shall review and approve, with or without conditions, the full site plan upon the following findings:
 - i. The Zoning Districts provide a seamless transition from adjacent, existing districts and uses to the proposed subject site(s).
 - ii. Internal circulation and layout of lots fosters a walkable, urban area by adhering to the maximum block lengths as outlined in Division 5.
 - iii. Roadways are interconnected and provide safe areas for walking and biking.

90-1202 SPECIAL LAND USES

- A. Special Land Uses. As per Division 4 of the City of Wyoming Form Based Code, certain uses require special land use review and approval by the Planning Commission. The special land use review and approval process shall adhere to 90-507 of the City of Wyoming Zoning Ordinance. Specific standards for special land uses are determined by Context Area and Use, see section 90-508 of the City of Wyoming Zoning Ordinance.

90-1203 FORM BASED CODE DEPARTURES

- A. Minor Departures. The City Planner may, at the request of an applicant, waive certain minor building type standards, frontage type standards, and zoning district standards as outlined in Table 90-1203a.
- B. Major Departures. The Planning Commission may, at the request of the City Planner or applicant, waive certain major building type standards or frontage type standards if it finds that the changes are major based on size, scope, and location of the existing or proposed building. Table 90-1203b provides a summary of major departures. Note that changes other than minor changes to the Zoning District Map shall require a full site plan/sketch plan.
- C. Findings for Code Departures. The applicable reviewing body shall find that a departures to the Form Based Code:
 - 1. Does not materially change the circulation and building location on the site;
 - 2. Does not alter the relationship between the buildings and the street;
 - 3. Does not allow a use not otherwise permitted in this Form Based Code; and
 - 4. The departure is the minimum required necessary to meet the intent of the Form Based Code.

90-1204 ADOPTION AND AMENDMENT DATE

- A. City of Wyoming
 - 1. Adoption Date. The City of Wyoming Form Based Code was adopted at a regular meeting of the Wyoming City Commission on December 16, 2013.
 - 2. Amendment Date. The City of Wyoming Form Based Code was amended at a regular meeting of the Wyoming City Commission on xx.

CHANGES ON THIS PAGE

TABLE 90-1203a MINOR FORM-BASED CODE DEPARTURES

Minor Departures*	Minor Modification Allowed	Comments/Required Findings
Form-Based Code Context Areas		
1. Minor changes as described in the City of Wyoming Zoning Ordinance, Section 90-1005.	Per Section 90-506	
2. Area/Boundary of Context Area	No more than a 15% increase or decrease in the area.	Measurement shall include the area of the applicable parcel. When possible, boundaries shall follow parcel lines.
Building Type Standards		
1. Building Height	n/a	
2. Facade Composition	n/a	
3. Site Dimensional Requirements	a. up to 5' for setbacks b. 10% reduction from site coverage c. 5% reduction in façade width requirements	a. Existing development on adjacent parcels on the same block face is greater or less than the required setback b. and c. Site constraints prohibit strict application of requirements and/or easements prohibit application of minimum requirements

* Note that departures from the build-to-line and required build-to-zone shall not be permitted.

TABLE 90-1203b MAJOR FORM-BASED CODE DEPARTURES

Major Departures*	Major Modification Allowed	Comments/Required Findings
Form-Based Code Context Areas		
1. Area/Boundary of Context Area	No more than a 30% increase or decrease in the area.	Measurement shall include the area of the applicable parcel. When possible, context area boundaries shall follow parcel lines.
Building Type Standards		
1. Building Height	n/a	
2. Facade Composition	n/a	
3. Site Dimensional Requirements	a. up to 10' for setbacks b. 20% reduction from site coverage c. 10% reduction in façade width requirements	a. Existing development on adjacent parcels on the same block face is greater or less than the required setback b. and c. Site constraints prohibit strict application of requirements and/or easements prohibit application of minimum requirements

* Note that departures from the build-to-line and required build-to-zone shall not be permitted.

CHANGES ON THIS PAGE

90-1300 APPLICABILITY

Division 3 identifies provisions that are general to all City of Wyoming Form Based Code Context Areas.

Each Context Area established in this code shall meet the requirements of Division 3. If there is a conflict between this Division and the individual requirements of the Context Area, Building Type Standards or Frontage Type Standards, the requirements of the Context Areas, Building Type Standards or Frontage Types Standards shall govern.

90-1301 BONUSES AND INCENTIVES

- A. Purpose and Intent. The Planning Commission may grant zoning incentives to applicants to encourage the provision of certain community benefits or amenities that are in compliance with City of Wyoming Land Use Plan.
- B. Incentives Restricted to Added Benefits. Incentives shall be granted only when the community benefits or amenities offered would not otherwise be required or likely to result from the planning process.
- C. Incentives Permitted. The Planning Commission may grant the following incentives:
 - 1. CC Corridor Central Context Area: Building height may be increased up to 1 additional story.
 - 2. CU Corridor Urban Context Area: Building height may be increased up to 1 additional story, except when within the Building Height Transition Zone per 90-1309.
 - 3. Building height increase bonuses shall require a site plan review and approval through the Planning Commission.
 - 4. The Planning Commission reserves the right to determine the extent of the increase in height, up to the maximum bonus allowed, based on the extent of the benefit provided.
- D. Civic Space Benefit. An increase in building height may be granted for the creation of dedicated Civic Space, including gateway enhancements along the Crescent Street or Division Avenue. Civic Space shall meet one of the following requirements to be considered for an incentive:
 - 1. Civic Space shall be in the form of plazas, squares, greens or parks that are consistent with the City of Wyoming Land Use Plan.
 - 2. Civic Space may also be in the form of plazas, squares, greens or parks that are not indicated in the City of Wyoming Land Use Plan, but that meet the vision and intent of the Plan.
 - 3. Civic Space shall meet the requirements of Division 3 General Provision for landscaping and lighting and Division 10 Signage.
- E. Parking Structure Benefit. An increase in building height may be granted for projects that incorporate parking structures as part of the development. Parking structures shall meet the following requirements to be considered for an incentive:
 - 1. The parking structures shall meet the requirements of Division 9 Parking Standards.
 - 2. The parking structures shall provide a minimum of fifty percent (50%) of its parking spaces as parking available to the public at market rate.
 - 3. The parking structures shall provide bicycle amenities including bike racks and/or bike lockers that are easily accessed from the public right-of-way.

90-1302 ENCROACHMENTS

- A. The following architectural elements may project into required setbacks, beyond required build-to-zones or into the public right-of-way as indicated below. For encroachments into the public right-of-way, an encroachment permit shall be obtained from the applicable City department(s).
 - 1. Balconies. A balcony with a minimum ground clearance of twelve (12) feet above adjacent grade may extend six (6) feet maximum from the exterior wall of the building.
 - 2. Awnings and Canopies. An awning or canopy with a minimum ground clearance of eight (8) feet above adjacent grade may extend five (5) feet maximum from the exterior wall of the building.
 - 3. Eaves. Building eaves with a minimum ground clearance of twelve (12) feet above adjacent grade may extend two (2) feet maximum from the exterior wall of the building.
 - 4. Cornice. Building cornices with a minimum ground clearance of twelve (12) feet above adjacent grade may extend up to a two (2) foot maximum from the exterior wall of the building.
 - 5. Bay Windows. Bay windows with a minimum ground clearance of twelve (12) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.
 - 6. Projecting Signs. Projecting signs with a minimum ground clearance of eight (8) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.
- B. Unenclosed porches, stoops, wells and steps may project into required setbacks and beyond required build-to-zones as indicated below. Unenclosed porches, stoops, wells and steps shall not project into the public right-of-way.
 - 1. Along principal frontage lines: Unenclosed porches, stoops and wells (not including steps) may project into the front yard or front build-to-zone by no more than ten (10) feet, but shall be no closer than five (5) feet to the principal frontage line. Steps may completely encroach into the front yard or front build-to-zone but shall not extend beyond the principal frontage line.
 - 2. Along secondary frontage lines: Unenclosed porches, stoops, wells and steps may project into the side yard or side build-to-zone provided that they are not closer than three (3) feet to the secondary frontage line.
 - 3. Along any side or rear non-frontage property line: Unenclosed porches, stoops, wells and steps may project into the side or rear yard setback areas by no more than three (3) feet.
 - 4. Walls and fences may project into setbacks or yards as allowed in Division 8 Landscaping/Lighting.

90-1303 HEIGHT MEASUREMENT OF BUILDINGS

- A. Building heights shall be measured in number of stories.
- B. Story height shall be measured from floor to ceiling for each floor of a building as indicated by specific building type.
- C. Attics and basements are not counted as stories.
- D. Overall building height (in feet) shall be measured as the vertical distance from the established grade to the highest point of the roof for flat roofs, to the deck line for mansard roofs, and to the mean height for gable, hip, gambrel and A-frame roofs.

CHANGES ON THIS PAGE

90-1304 OUTDOOR SEATING

- A. Outdoor seating shall be permitted with the following building types:
 1. Mixed Use Building
 2. Retail Building
 3. Zero Lot Line Retail Building
 4. Live/Work Building
 5. Civic Building
- B. Outdoor seating shall require sketch plan review and approval by the City Planner.
- C. A minimum pedestrian clear space of five (5) feet shall be provided at all times.
- D. Trash receptacles related to the outdoor seating area shall be maintained and shall be removed from the public right-of-way during non-business hours.
- E. Outdoor dining areas shall be designed so as to be architecturally compatible with existing structures on the site.
- F. If located on public property or within the public right-of-way, an encroachment permit shall be required. Such permit shall be obtained through the applicable City department(s).

90-1305 TRANSPARENCY

Facade Transparency requirements for building elevations facing principal and secondary frontage lines are indicated as a percentage of clear glass to solid wall in Division 6 Building Type Standards and Division 7 Private Frontage Type Standards. Transparency shall be subject to the following requirements:

- A. Clear Glass. Only clear or lightly tinted glass in windows, doors and display windows shall be considered transparent.
- B. Calculation. The calculation of the percentage of transparency shall include only the glass within the windows, doors and display windows.
- C. Reflective Surfaces. The use of highly reflective surfaces, including reflective glass and mirrors is prohibited on the ground floor.
- D. Security Shutters. Exterior steel barriers, hurricane curtains and other security devices are not permitted on the exterior of the building. If they are located in the interior of the building, they may not be visible from the sidewalk or public right-of-way during business hours.
- E. Interior Display. Interior display shelves and merchandise are not permitted to block or obscure clear views into or out of the building at windows, doors or display windows that are included as part of the required transparency.
- F. Stairwells. Where stairwells are introduced to the outer building wall of a building, the exterior of the stairwell and exit door shall be at least seventy (70) percent transparent.

90-1306 CIVIC BUILDINGS

Civic buildings are not required to meet the Building Type Standards or Private Frontage Standards of the City of Wyoming Form Based Code. Civic buildings are structures that contain uses of special public importance including, but not limited to municipal buildings, churches, libraries and schools.

90-1307 ROOF TOP SCREENING

All rooftop mechanical, communication, and similar devices shall be screened from view of adjacent properties and streets. Screening shall be so designed as to be an integral part of the building. The screening material shall match the building's material and color or be another material or color that is compatible with the building exterior.

90-1308 BUILDING SETBACK FROM RESIDENTIAL

There shall be a minimum twenty-five (25) foot building setback from existing R-2 residential zoning districts as measured from the lot line to any proposed exterior building wall as indicated on Map 90-1309.

90-1309 BUILDING HEIGHT TRANSITION AREA

There shall be a building height transition area (Refer to Map 90-1309) for lots located within the Corridor Urban (CU) and Corridor General (CG) Context Areas abutting existing R-2 residential zoning districts and when abutting the Corridor Residential (CR) Context Area. Within the building height transition area, buildings shall be limited to two (2) stories. The building height transition area shall be one hundred forty feet (140') in depth.

90-1310 NONCONFORMITIES

Any lawful use of any land or building existing on December 31, 2013 and located in a zoning district in which it would not be permitted as a new use under the regulations of this chapter is hereby declared a nonconforming use and not in violation of this section, subject to the regulations of this Division.

- A. Nonconforming Uses of Buildings and Structures. Nonconforming uses of buildings and structures in the Form Based Code shall adhere to the provisions of Article IX.
- B. Nonconforming Due to Building Type Standards or Frontage Standards. For buildings and structures that do not conform to the building type standards and/or frontage standards of this Form Based Code, but are otherwise conforming to use, certain relief is provided and such buildings and structures shall be deemed conforming. Alterations, repair, maintenance or other activities requiring building permit shall conform to the provisions of this Form Based Code when such actions meet the Applicability provisions contained in Division 2, 90-1200.
- C. Nonconforming Signs. Nonconforming signs shall meet the provisions of Section 90-710.
 1. Nonconforming Sign Removal Incentive. In an effort to encourage the eventual elimination of nonconforming signs, protect public health, safety, and welfare, as well as reduce visual clutter and improve the aesthetics of the area, the following incentive is established to encourage conformance with the Division 9. When a non-conforming sign is removed and replaced with a conforming sign per Division 9 of the Form Based Code, the applicant shall be eligible for an increase in total sign area not to exceed twenty percent (20%) of the permitted sign area of the replacement sign.

CHANGES ON THIS PAGE

90-1311 LIGHTING

- A. Exterior site lighting, other than flag and decorative lighting, shall be confined to the development site and conform to the following:
 - 1. Lamps and luminaries shall be shielded, hooded and/or louvered to provide a glare free area beyond the property line and beyond any public right-of-way, and the light source are not directly visible from beyond the boundary of the site.
 - 2. The light from any illumination source shall be designed so that the light intensity or brightness at any property line shall not exceed one (1) foot candle.
 - 3. Lighting fixtures shall have one hundred percent (100%) cut off above the horizontal plane at the lowest part of the point light source. The light rays may not be emitted by the installed fixture at angles above the horizontal plane. **No light fixture shall be mounted higher than twenty (25) feet above the average grade of the site.**
 - 4. There shall be no lighting of a blinking, flashing, or fluttering nature, including changes in light intensity, brightness or color. Beacon and search lights are not permitted.
 - 5. No colored lights shall be used at any location or in any manner so as to be confused with or construed as traffic control devices.

- 6. Trees that shall be retained on a lot or development site shall be located within an area referred to as a tree protection zone, which shall include the area occupied by the critical root zone. The area below the drip line of an existing tree to be saved should remain undisturbed. The drip line is an imaginary vertical line that extends downward from the outermost tips of the tree branches to the ground. The owner/developer shall take all necessary steps to avoid damage or destruction to existing trees to be preserved as shown on the site plan. Tree protection fencing, notes and details shall be shown on the landscape plan.

90-1312 LANDSCAPING AND GREENBELT

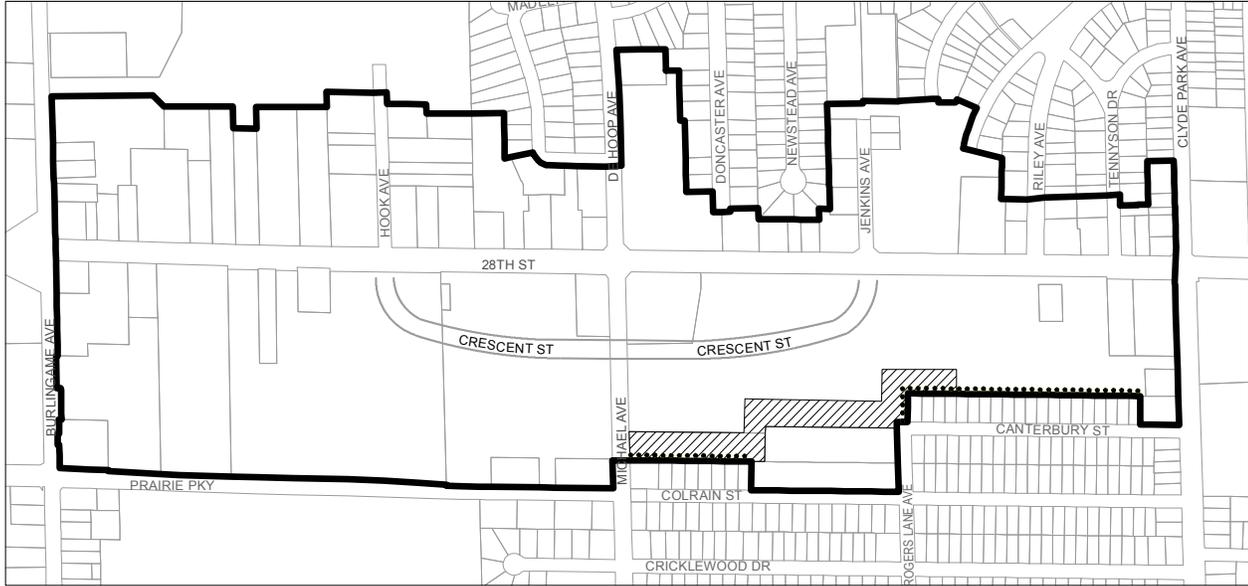
- A. 28th Street Greenbelt (Refer to Map 90-1312 at the end of this Division). At least one shade tree of a minimum 2.5 inch caliper shall be planted for each 50 feet of street frontage or fraction thereof. Said trees may be grouped or spaced. In addition, at least ten percent of the required greenbelt area must contain trees, shrubbery, flower beds, groundcover, landscape mulch, woodchips, stone and/or other types of landscape materials. However, credit may be obtained for existing, healthy trees and plant material where consistent with the intent of this section. Shrubby must be planted at least three feet from all sidewalks, drives and parking lots, so as to not infringe upon same.
- B. Street Trees Throughout. Deciduous canopy trees are required on all new thoroughfares as indicated in Division 8. Canopy trees shall be a minimum of 2.5 inch calliper. Additionally trees planted in raised planters shall have flower beds, ground cover, or other understory landscape materials.
- C. Installation and Maintenance:
 - 1. In ground automatic irrigation shall be installed and utilized within the required front yard and secondary front yards for all context areas except CN. Irrigation shall be installed along the entire street frontage either with new developments or with building additions adjacent to the street frontage that exceeds fifty (50) percent of the existing buildings width.
 - 2. All landscaping shall be maintained in a healthy, neat and orderly state, free from refuse and debris.
 - 3. Plants shall be controlled by pruning, trimming, or other suitable methods so that they do not restrict pedestrian or vehicular access, or constitute a traffic hazard.
 - 4. Any dead or diseased plants that were required by site plan approval shall be removed and replaced within one (1) year from the time that the plant dies.
 - 5. Trees shown on the site plan shall not be removed, except to replace dead or diseased trees, unless approved as a site plan amendment. Any tree that is removed must be replaced in accordance with the approved site plan. Existing trees marked on the site plan to be preserved that are damaged or lost shall be replaced by at least two (2) trees of

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ARTICLE 11 DIVISION 3
GENERAL PROVISIONS

SETBACKS MAP 90-1309



City of Wyoming, Michigan

Legend

- 25' Residential Buffer (see Division 3)
- Building Height Transition Area (see Division 3)
- Form-Based Code District

GREENBELT MAP 90-13012



City of Wyoming, Michigan

Legend

- 25' Greenbelt (see Division 3)
- - - Crescent Street Principal Frontage (see Division 3)
- Form-Based Code District

City of Wyoming
FORM BASED CODE

Introduction	1 Title, Purpose & Scope	2 Applicability & Procedures	3 General Provisions	4 Context Areas & Use	5 Subdivision & Access	6 Building Types
7 Private Frontages	8 Thoroughfare Guidelines	9 Off-Street Parking	10 Sign Standards	11 FBC Definitions	City of Wyoming Zoning Ordinance	

90-1400 PURPOSE

Division 4 identifies the Context Areas and Uses established for the City of Wyoming Form Based Code and provides the attributes that are allowed in each Area. These attributes include use, building types, and building height (measured in feet). These Context Areas ensure that proposed development is consistent with the [City of Wyoming Land Use Plan](#).

Each of the Context Areas described in this Division represent a spectrum of development character and intensity, ranging from the most urban intense (Corridor Center District) to the least urban intense (Corridor Neighborhood District). Each Context Area establishes character through its use of Building Types (Division 6) and the associated Private Frontages (Division 7) that can be applied to those Building Types.

90-1401 APPLICABILITY

Each Context Area established in the Context Area Map shall meet the standards of this Division. Each Context Area includes permitted and special uses (if applicable) building types, and building height. Key maps are provided to quickly discern the district location.

90-1402 CONTEXT AREAS

The following Context Areas are specified in this Division:

Corridor Center Area (CC): The Corridor Center Area is the equivalent of a downtown, with the highest concentration of development and the busiest streets. This Area is characterized by mixed-use and retail buildings set close to the sidewalk. These buildings contain ground floor retail and commercial uses with housing and office uses on the upper floors. The Corridor Center Area is the physical, business and commercial hub of the City of Wyoming. The Area limits building heights to two (2) stories in order to provide visual connection from 28th Street.

Corridor Urban Area (CU): The Corridor Urban Area is the equivalent of a downtown, with the highest concentration of development, the tallest buildings, and the busiest streets. This Area is characterized by mixed-use and retail buildings set close to the sidewalk. These buildings contain ground floor retail and commercial uses with housing and office uses on the upper floors. The Corridor Center Area is the physical, business and commercial hub of the City of Wyoming. The Area has similar characteristics to the Corridor Center Area, except that it allows taller buildings and may permit large-format retail.

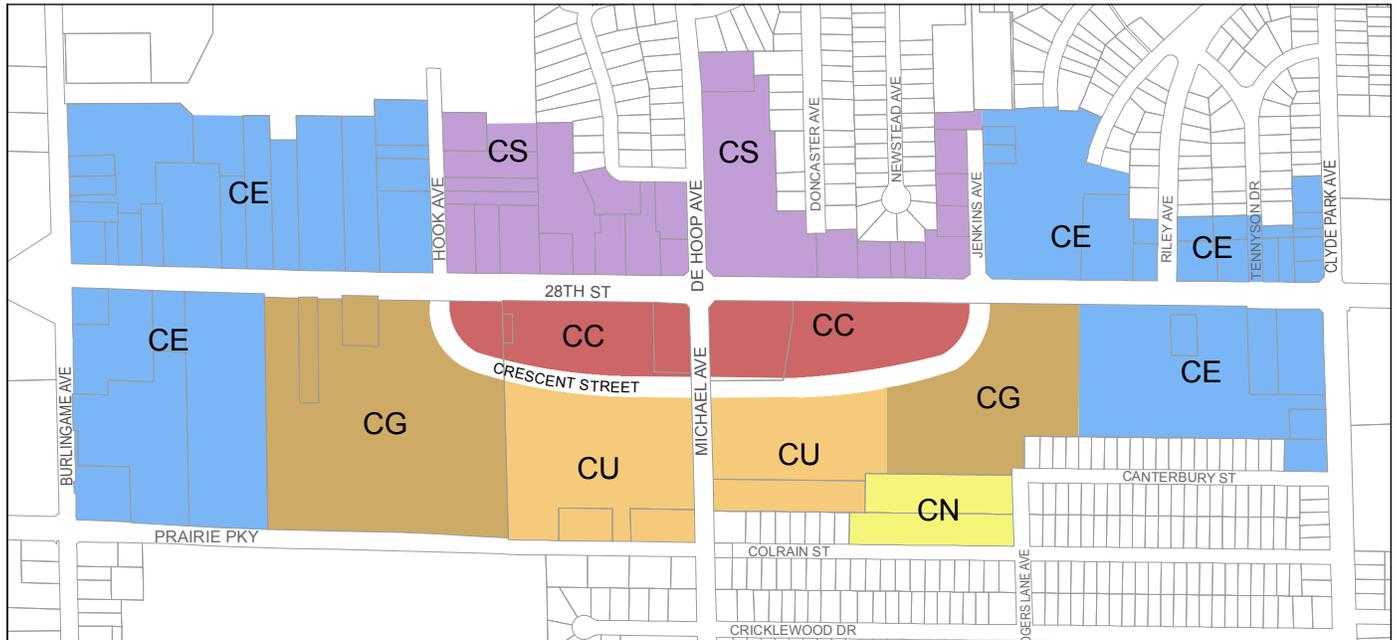
Corridor General Area (CG): The Corridor General Area represents a traditional urban development pattern with mixed use, retail, live / work and apartment buildings. The Area is characterized by a variety of Building Types set relatively close to the sidewalk, but also allows a range of building placement options that permit a varied street wall.

Corridor Sub-Urban Area (CS): The Corridor Sub-Urban Area represents a transition district within the development pattern by facilitating building placement that is varied and setback from the street edge and less emphasis on commercial uses. The Area permits flexible retail building placement to encourage a varied street edge and also allows for a variety of residential Building Types.

Corridor Edge Area (CE): The Corridor Edge Area represents a district which transitions from urban districts to the existing development pattern of the City. This Area promotes retail and residential uses with building placement that is more consistent with existing City development patterns and includes the flexibility of locating limited parking in the front of retail buildings that front on 28th Street and [Division Avenue](#).

Corridor Neighborhood Area (CN): The Corridor Neighborhood Area is a residential district that allows rowhouses, two-family and single-family homes. It is intended to address redevelopment opportunities that are consistent with existing adjacent single-family residential neighborhoods.

90-1403 28TH STREET CORRIDOR CONTEXT AREA MAP



Legend

- CC, Corridor Center Context Area
- CG, Corridor General Context Area
- CU, Corridor Urban Context Area
- CS, Corridor Sub-urban Context Area
- CE, Corridor Edge Context Area
- CN, Corridor Neighborhood Context Area



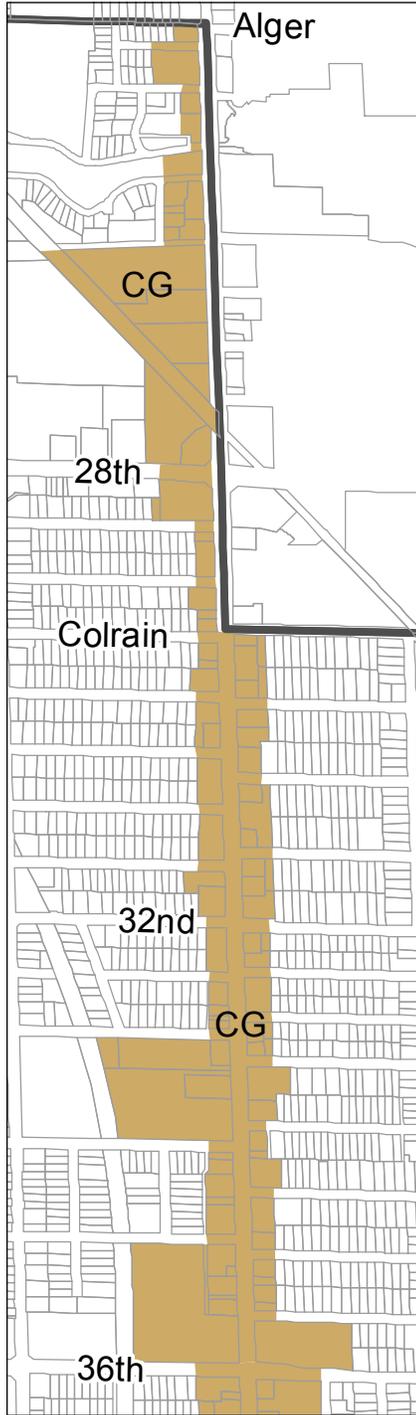
CHANGES ON THIS PAGE

1	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
7	Private Frontages	8	Thoroughfare Guidelines	9	Off-Street Parking	10	Sign Standards	11	FBC Definitions	City of Wyoming Zoning Ordinance			

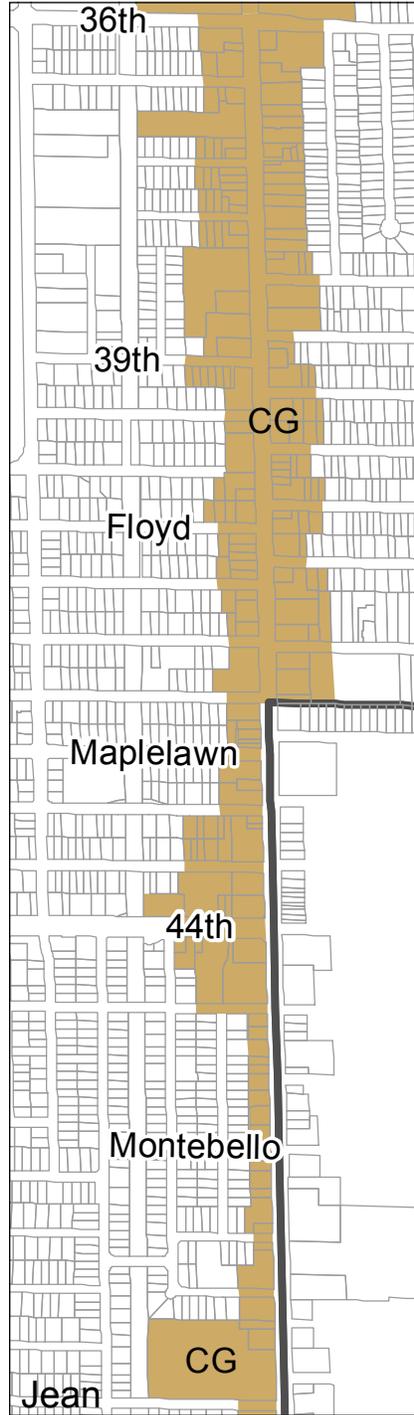
90-1404 DIVISION AVENUE CORRIDOR CONTEXT AREA MAPS

Map 90-1404 divided into three sections to depict entire Division Avenue corridor

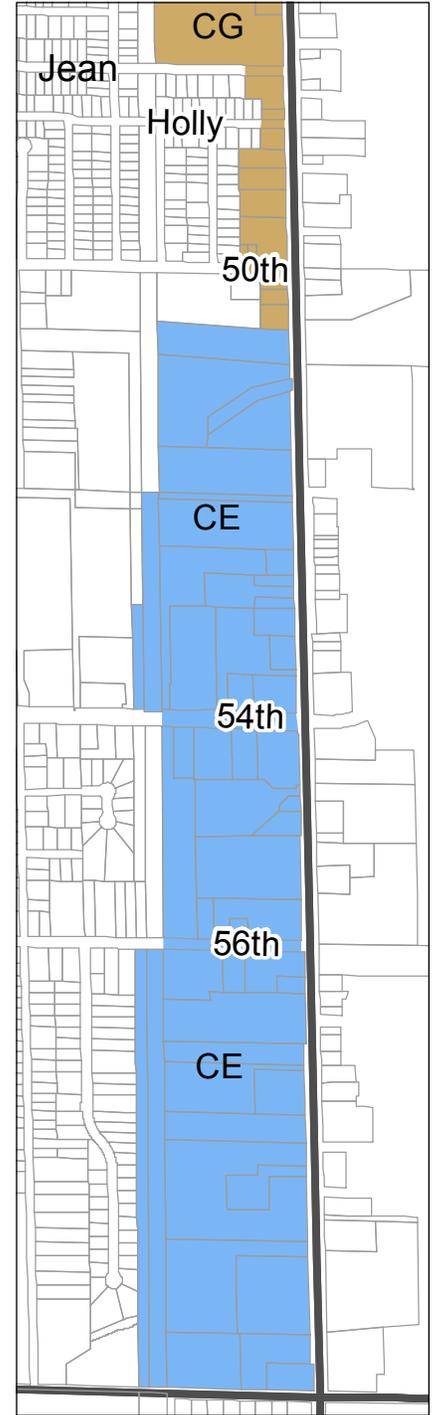
SECTION 1: ALGER ST. TO 36TH ST.



SECTION 2: 36TH ST. TO JEAN ST.



SECTION 3: JEAN ST. TO 60TH ST.



CHANGES ON THIS PAGE NEW PAGE WITH MAPS

Legend

- CG, Corridor General Context Area
- CE, Corridor Edge Context Area



i Introduction	1 Title, Purpose & Scope	2 Applicability & Procedures	3 General Provisions	4 Context Areas & Use	5 Subdivision & Access	6 Building Types
7 Private Frontages	8 Thoroughfare Guidelines	9 Off-Street Parking	10 Sign Standards	11 FBC Definitions	City of Wyoming Zoning Ordinance	

CONTEXT AREA AND USE STANDARDS : 90-1405 CORRIDOR CENTER AREA (CC)

90-1405 CORRIDOR CENTER AREA

The following standards apply to the Corridor Urban Area:

1.0 Permitted Building Types

Refer to Division 6 for Building Type requirements.

- A. Mixed-Use Building
- B. Zero Lot Line Retail Building
- C. Civic Building

2.0 Permitted Uses

- A. Refer to Table 90-1405 for Land Uses permitted in this Area for each Building Type that is permitted in the Area that are as follows:
 - Permitted by right (P)
 - Permitted by right, but not allowed on first floor (P*)
 - Permitted by right and only allowed on first floor (P#)
 - Permitted by Special Land Use Permit (S)
 - Uses indicated with a blank cell are not permitted in this Area.

3.0 Building Height by Context Area

- A. Number of stories for buildings is regulated by Context Area.
- B. Each Building Type has requirements for the height (in feet) of building stories. Refer to Division 6 for Building Type Standards.
- C. Building Height for all buildings except Zero Lot Line Retail Building
 - Minimum: None
 - Maximum: Two (2) stories, 35 feet
 - Zero Lot Line Retail Building: One (1) story building required

4.0 Special Land Uses

The following are specific standards for Special Land Uses in the CC Area. See Division 2 for Special Land Use general review and approval procedures and Section 90-508 of the City of Wyoming Zoning Ordinance for specific standards for Special Land Uses.

- A. Drive-through establishments. Drive through entries shall take access from secondary frontages.
- B. Parking structures. Parking structure entries shall take access from a Street, and not an Avenue, per Division 8, Thoroughfare Standards.
- C. Secondhand businesses.

CORRIDOR CENTER AREA DESCRIPTION:

Corridor Center Area (CC): The Corridor Center Area is the equivalent of a downtown, with the highest concentration of development and the busiest streets. This Area is characterized by mixed-use and retail buildings set close to the sidewalk. These buildings contain ground floor retail and commercial uses with housing and office uses on the upper floors. The Corridor Center Area is the physical, business and commercial hub of the City of Wyoming. The Area limits building heights to two (2) stories in order to provide visual connection from 28th Street.

CORRIDOR CENTER AREA KEY MAP (28TH STREET):



CHANGES ON THIS PAGE

TABLE 90-1405 CORRIDOR CENTER AREA (CC)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Accessory uses	P	P							P
Any use in retail sales of 20,000 square feet or more									
Apparel shop	P	P							
Art, including art work, art supplies and framing materials	P	P							
Automobile gasoline/convenience store									
Automobile repair and service entirely within an enclosed building, except body shops, painting and refinishing, automobile washes, automobile gasoline and automobile service stations									
Automobile sales									
Automobile, motorcycle, trailer, recreational vehicle or boat showrooms									
Baked goods	P	P							
Bank and financial institution	P								
Barbershop	P								
Beauty shop	P								
Bowling alley									
Bus transfer station									P
Business office	P\$								
Business service establishments	P\$								
Car wash									
Clothing services	P	P							
College or university									
Commercial greenhouse	P	P							
Community center									
Convalescent or nursing homes									
Dance hall/nightclub									
Delicatessen	P	P							
Department store	P	P							
Drive-through establishments	S	S							
Drugstore	P	P							
Dry cleaning establishment (per 90-401B (5) (c))	P\$								
Eating and drinking establishments (without drive-through service)	P	P							

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

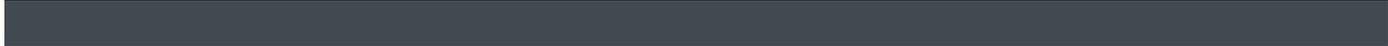
CHANGES ON THIS PAGE

CONTEXT AREA AND USE STANDARDS : 90-1405 CORRIDOR CENTER AREA (CC)

TABLE 90-1405 CORRIDOR CENTER AREA (CC) (CONTINUED)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Flower shop	P	P							
Funeral homes or mortuaries									
General merchandise store	P	P							
Grocery	P	P							
Hardware store, paint and wallpaper	P	P							
Health and fitness	P\$								
Hotel	P\$								
Indoor skating rink									
Indoor theater									
Medical office	P\$								
Multiple family dwellings	P\$								
Municipal uses									P
Nursery schools, day nurseries, and dependent care facilities for seven or more people									
Open air business									
Outdoor eating and drinking establishments having table service when part of an indoor eating and drinking establishment	P	P							
Parking structures	S								
Photographic studio	P\$								
Pool hall/billiards									
Printing and publishing									
Professional office	P\$								
Religious or social service assembly									
Secondhand business	S	S							
Self-service laundry and dry cleaning									
Single-family detached dwelling									
State licensed residential facility									
Two-family dwellings/rowhouses									
Veterinary hospitals and clinics, excluding outdoor use of property for exercise yards or pens									

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.



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i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
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CONTEXT AREA AND USE STANDARDS : 90-1406 CORRIDOR URBAN AREA (CU)

90-1406 CORRIDOR URBAN AREA

The following standards apply to the Corridor Urban Area:

1.0 Permitted Building Types

Refer to Division 6 for Building Type requirements.

- A. Mixed-Use Building
- B. Zero Lot Line Retail Building
- C. Civic Building

2.0 Permitted Uses

- A. Refer to Table 90-1406 for Land Uses permitted in this Area for each Building Type that is permitted in the Area that are as follows:
 - Permitted by right (P)
 - Permitted by right, but not allowed on first floor (P*)
 - Permitted by right and only allowed on first floor (P#)
 - Permitted by Special Land Use Permit (S)
 - Uses indicated with a blank cell are not permitted in this Area.

3.0 Building Height by Context Area

- A. Number of stories for buildings is regulated by Context Area.
- B. Each Building Type has requirements for the height (in feet) of building stories. Refer to Division 6 for Building Type Standards.
- C. Building Height for all buildings except Zero Lot Line Retail Building
 - Minimum: Two (2) stories
 - Maximum: Five (5) stories, 70 feet
 - Zero Lot Line Retail Building: One (1) story building required

4.0 Special Land Uses

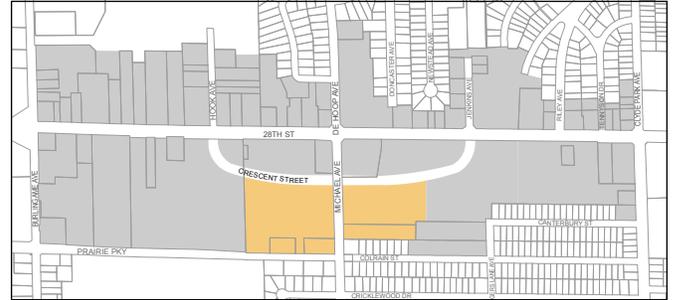
The following are specific standards for Special Land Uses in the CU Area. See Division 2 for Special Land Use general review and approval procedures and Section 90-508 of the City of Wyoming Zoning Ordinance for specific standards for Special Land Uses.

- A. Any use in retail sales of 20,000 square feet or more
- B. Bowling alley.
- C. Dance hall/nightclub.
- D. Drive-through establishments. Drive through entries shall take access from secondary frontages.
- E. Indoor skating rink.
- F. Indoor theater.
- G. Poolhall/billiards.
- H. Secondhand businesses.

CORRIDOR URBAN AREA DESCRIPTION:

Corridor Urban Area (CU): The Corridor Urban Area is the equivalent of a downtown, with the highest concentration of development, the tallest buildings, and the busiest streets. This Area is characterized by mixed-use and retail buildings set close to the sidewalk. These buildings contain ground floor retail and commercial uses with housing and office uses on the upper floors. The Corridor Center Area is the physical, business and commercial hub of the City of Wyoming. The Area has similar characteristics to the Corridor Center Area, except that it allows taller buildings and may permit large-format retail.

CORRIDOR URBAN AREA KEY MAP (28TH STREET):



CHANGES ON THIS PAGE

TABLE 90-1406 CORRIDOR URBAN AREA (CU)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Accessory uses	P	P							P
Any use in retail sales of 20,000 square feet or more	S	S							
Apparel shop	P	P							
Art, including art work, art supplies and framing materials	P	P							
Automobile gasoline/convenience store									
Automobile repair and service entirely within an enclosed building, except body shops, painting and refinishing, automobile washes, automobile gasoline and automobile service stations									
Automobile sales									
Automobile, motorcycle, trailer, recreational vehicle or boat showrooms									
Baked goods	P	P							
Bank and financial institution	P\$								
Barbershop	P\$								
Beauty shop	P\$								
Bowling alley	S	S							
Bus transfer station	P								P
Business office	P\$								
Business service establishments	P\$								
Car wash									
Clothing services	P	P							
College or university									P
Commercial greenhouse	P	P							
Community center	P\$								
Convalescent or nursing homes									
Dance hall/nightclub	S	S							
Delicatessen	P	P							
Department store	P	P							
Drive-through establishments	S	S							
Drugstore	P	P							
Dry cleaning establishment (per 90-401B (5) (c))	P\$								
Eating and drinking establishments (without drive-through service)	P	P							

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

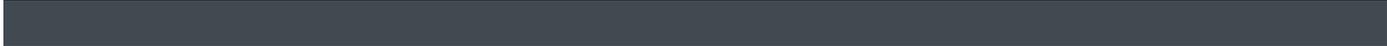
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CONTEXT AREA AND USE STANDARDS : 90-1406 CORRIDOR URBAN AREA (CU)

TABLE 90-1406 CORRIDOR URBAN AREA (CU) (CONTINUED)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Flower shop	P	P							
Funeral homes or mortuaries									
General merchandise store	P	P							
Grocery	P	P							
Hardware store, paint and wallpaper	P	P							
Health and fitness	P\$								
Hotel	P\$								
Indoor skating rink	S	S							
Indoor theater	S	S							
Medical office	P\$								
Multiple family dwellings	P\$								
Municipal uses									P
Nursery schools, day nurseries, and dependent care facilities for seven or more people	P\$								
Open air business									
Outdoor eating and drinking establishments having table service when part of an indoor eating and drinking establishment	P	P							
Parking structures									
Photographic studio	P\$								
Pool hall/billiards	S								
Printing and publishing	P								
Professional office	P\$								
Religious or social service assembly									
Secondhand business	S	S							
Self-service laundry and dry cleaning	P								
Single-family detached dwelling									
State licensed residential facility									
Two-family dwellings/rowhouses									
Veterinary hospitals and clinics, excluding outdoor use of property for exercise yards or pens	P\$								

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.



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CONTEXT AREA AND USE STANDARDS : 90-1407 CORRIDOR GENERAL AREA (CG)

90-1407 CORRIDOR GENERAL AREA

The following standards apply to the Corridor General Area:

1.0 Permitted Building Types

Refer to Division 6 for Building Type requirements.

- A. Mixed-Use Building
- B. Zero Lot Line Retail Building
- C. Retail Building
- D. Live/Work Building
- E. Apartment
- F. Civic Building

2.0 Permitted Uses

A. Refer to Table 90-1407 for Land Uses permitted in this Area for each Building Type that is permitted in the Area that are as follows:

- Permitted by right (P)
- Permitted by right in Division Avenue Form Based Code Area only (P^D)
- Permitted by right, but not allowed on first floor (P*)
- Permitted by right and only allowed on first floor (P#)
- Permitted by Special Land Use Permit (S)
- Uses indicated with a blank cell are not permitted in this Area.

3.0 Building Height by Context Area

A. Number of stories for buildings is regulated by Context Area.

B. Each Building Type has requirements for the height (in feet) of building stories. Refer to Division 6 for Building Type Standards.

C. Building Height for all buildings except Zero Lot Line Retail Building

- Minimum: Two (2) stories
- Maximum, within 28th Street Corridor: Five (5) stories, 75 feet
- Maximum, within Division Avenue Corridor: Three (3) stories, 50 feet
Exception: Five (5) stories, 75 feet, with Special Use Approval
- Zero Lot Line Retail Building: One (1) story building required

4.0 Special Land Uses

The following are specific standards for Special Land Uses in the CG Area. See Division 2 for Special Land Use general review and approval procedures and Section 90-508 of the City of Wyoming Zoning Ordinance for specific standards for Special Land Uses.

- A. Car wash.
- B. Commercial greenhouse.
- C. Dance hall/nightclub.
- D. Drive-through establishments. Drive through entries shall take access from secondary frontages.
- E. Open air business.
- F. Secondhand businesses.
- G. Special Land Use for five (5) story buildings within the Division Avenue corridor follow Section 90-508.

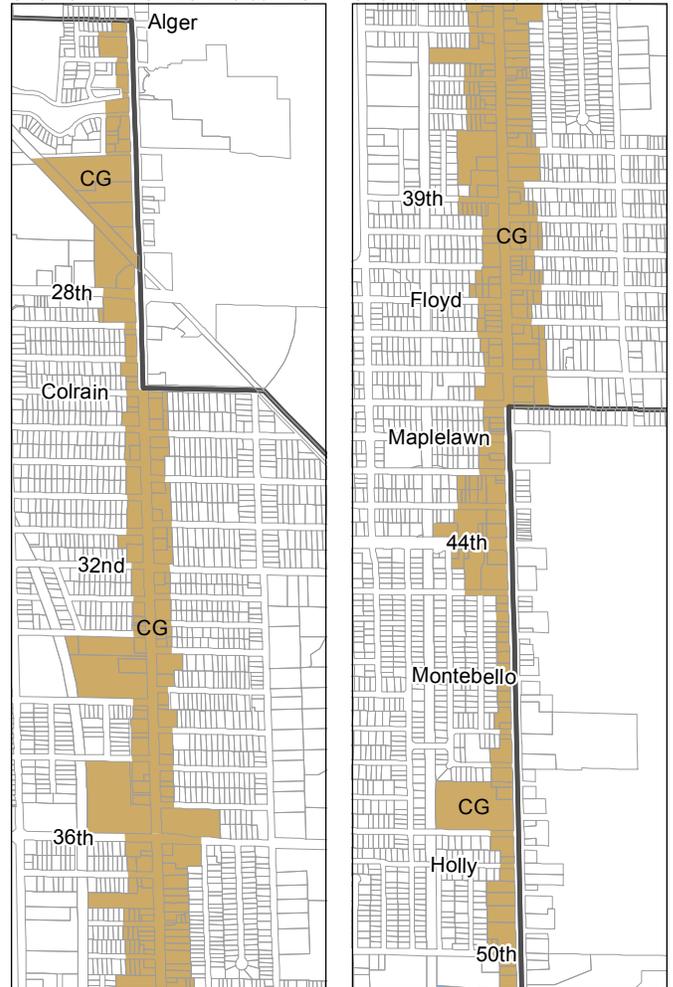
CORRIDOR GENERAL AREA DESCRIPTION:

Corridor General Area (CG): The Corridor General Area represents a traditional urban development pattern with mixed use, retail, live / work and apartment buildings. The Area is characterized by a variety of Building Types set relatively close to the sidewalk, but also allows a range of building placement options that permit a varied street wall.

CORRIDOR GENERAL AREA KEY MAP (28TH STREET):



CORRIDOR GENERAL AREA KEY MAPS (DIVISION AVENUE):
SECTION 1: ALGER ST. TO 36TH ST. SECTION 2: 36TH ST. TO 50TH ST.



CHANGES ON THIS PAGE

TABLE 90-1407 CORRIDOR GENERAL AREA (CG)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Accessory uses	P	P	P	P	P				P
Any use in retail sales of 20,000 square feet or more	P	P	P						
Apparel shop	P	P	P	P					
Art, including art work, art supplies and framing materials	P	P	P	P					
Automobile gasoline/convenience store			P						
Automobile repair and service entirely within an enclosed building, except body shops, painting and refinishing, automobile washes, automobile gasoline and automobile service stations									
Automobile sales									
Automobile, motorcycle, trailer, recreational vehicle or boat showrooms									
Baked goods	P	P	P	P					
Bank and financial institution	P\$								
Barbershop	P\$			P	P#				
Beauty shop	P\$			P	P#				
Bowling alley									
Bus transfer station	P								P
Business office	P\$	P ^D	P ^D	P	P#				
Business service establishments	P\$	P ^D	P ^D	P	P#				
Car wash			S						
Clothing services	P	P	P	P					
College or university									P
Commercial greenhouse	P		S						
Community center	P\$								
Convalescent or nursing homes									
Dance hall/nightclub	S	S	S						
Delicatessen	P	P	P	P					
Department store	P	P	P	P					
Drive-through establishments	S	S	S						
Drugstore	P	P	P	P					
Dry cleaning establishment (per 90-401B (5) (c))		P	P						
Eating and drinking establishments (without drive-through service)	P	P	P		P#				

CHANGES ON THIS PAGE

P = Permitted use. P^D = Permitted in Division Avenue Form Based Code Area only. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

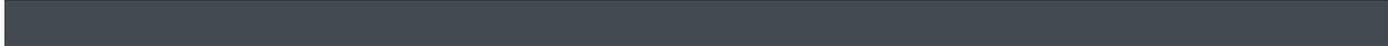
CONTEXT AREA AND USE STANDARDS : 90-1407 CORRIDOR GENERAL AREA (CG)

TABLE 90-1407 CORRIDOR GENERAL AREA (CG) (CONTINUED)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Flower shop	P	P	P	P					
Funeral homes or mortuaries									
General merchandise store	P	P	P	P					
Grocery	P	P	P	P	P#				
Hardware store, paint and wallpaper	P	P	P	P					
Health and fitness	P\$				P#				
Hotel	P\$								
Indoor skating rink									
Indoor theater	P	P	P						
Medical office	P\$	P ^D	P ^D	P	P#				
Multiple family dwellings	P\$			P	P				
Municipal uses									P
Nursery schools, day nurseries, and dependent care facilities for seven or more people	P\$			P	P#				
Open air business			S						
Outdoor eating and drinking establishments having table service when part of an indoor eating and drinking establishment	P	P	P						
Parking structures									
Photographic studio		P	P	P					
Pool hall/billiards									
Printing and publishing	P			P					
Professional office	P\$	P ^D	P ^D	P	P#				
Religious or social service assembly									
Secondhand business	S	S	S						
Self-service laundry and dry cleaning	P								
Single-family detached dwelling									
State licensed residential facility									
Two-family dwellings/rowhouses									
Veterinary hospitals and clinics, excluding outdoor use of property for exercise yards or pens			P						

CHANGES ON THIS PAGE

P = Permitted use. P^D = Permitted in Division Avenue Form Based Code Area only. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.



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CONTEXT AREA AND USE STANDARDS : 90-1408 CORRIDOR SUB-URBAN AREA (CS)

90-1408 CORRIDOR SUB-URBAN AREA

The following standards apply to the Corridor Sub-Urban Area:

1.0 Permitted Building Types

Refer to Division 6 for Building Type requirements.

- A. Retail Building
- B. Live/Work Building
- C. Apartment
- D. Rowhouse
- E. Civic Building

2.0 Permitted Uses

- A. Refer to Table 90-1408 for Land Uses permitted in this Area for each Building Type that is permitted in the Area that are as follows:
 - Permitted by right (P)
 - Permitted by right, but not allowed on first floor (P*)
 - Permitted by right and only allowed on first floor (P#)
 - Permitted by Special Land Use Permit (S)
 - Uses indicated with a blank cell are not permitted in this Area.

3.0 Building Height by Context Area

- A. Number of stories for buildings is regulated by Context Area.
- B. Each Building Type has requirements for the height (in feet) of building stories. Refer to Division 6 for Building Type Standards.
- C. Building Height for all buildings:
 - Minimum: Two (2) stories
 - Maximum: Four (4) stories, 60 feet
 - Retail Building: One (1) story building required

4.0 Special Land Uses

The following are specific standards for Special Land Uses in the CS Area. See Division 2 for Special Land Use general review and approval procedures and Section 90-508 of the City of Wyoming Zoning Ordinance for specific standards for Special Land Uses.

- A. Bowling alley.
- B. Car wash.
- C. Commercial greenhouse.
- D. Community center.
- E. Dance hall/nightclub.
- F. Drive-through establishments. Drive through entries shall take access from interior rights-of-way.
- G. Indoor skating rink.
- H. Indoor theater.
- I. Parking structures. Parking structure entries shall take access from a Street, and not an Avenue, per Division 8, Thoroughfare Standards.
- J. Pool hall/billiards.
- K. Secondhand businesses.

CORRIDOR SUB-URBAN AREA DESCRIPTION:

Corridor Sub-Urban Area (CS): The Corridor Sub-Urban Area represents a transition area within the development pattern by facilitating building placement that is varied and setback from the street edge and less emphasis on commercial uses. The Area permits flexible retail building placement to encourage a varied street edge and also allows for a variety of residential Building Types.

CORRIDOR SUB-URBAN AREA KEY MAP (28TH STREET):



CHANGES ON THIS PAGE

TABLE 90-1408 CORRIDOR SUB-URBAN AREA (CS)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Accessory uses			P	P	P	P			P
Any use in retail sales of 20,000 square feet or more									
Apparel shop			P	P					
Art, including art work, art supplies and framing materials			P	P					
Automobile gasoline/convenience store									
Automobile repair and service entirely within an enclosed building, except body shops, painting and refinishing, automobile washes, automobile gasoline and automobile service stations									
Automobile sales									
Automobile, motorcycle, trailer, recreational vehicle or boat showrooms									
Baked goods			P	P					
Bank and financial institution									
Barbershop				P	P#				
Beauty shop				P	P#				
Bowling alley			S						
Bus transfer station			P						P
Business office				P					
Business service establishments				P					
Car wash			S						
Clothing services			P	P					
College or university			S						P
Commercial greenhouse			S						
Community center			S						
Convalescent or nursing homes									
Dance hall/nightclub			S						
Delicatessen			P	P					
Department store			P	P					
Drive-through establishments			S						
Drugstore			P	P					
Dry cleaning establishment (per 90-401B (5) (c))			P						
Eating and drinking establishments (without drive-through service)			P						

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

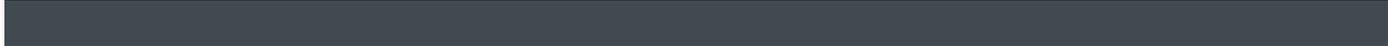
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CONTEXT AREA AND USE STANDARDS : 90-1408 CORRIDOR SUB-URBAN AREA (CS)

TABLE 90-1408 CORRIDOR SUB-URBAN AREA (CS) (CONTINUED)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Flower shop			P	P					
Funeral homes or mortuaries									
General merchandise store			P	P					
Grocery			P	P					
Hardware store, paint and wallpaper			P	P					
Health and fitness					P#				
Hotel					P				
Indoor skating rink			S						
Indoor theater			S						
Medical office				P					
Multiple family dwellings				P	P				
Municipal uses									P
Nursery schools, day nurseries, and dependent care facilities for seven or more people				P	P#				
Open air business									
Outdoor eating and drinking establishments having table service when part of an indoor eating and drinking establishment			P						
Parking structures			S						
Photographic studio			P	P					
Pool hall/billiards			S						
Printing and publishing				P					
Professional office				P					
Religious or social service assembly									
Secondhand business			S						
Self-service laundry and dry cleaning									
Single-family detached dwelling									
State licensed residential facility									
Two-family dwellings/rowhouses						P			
Veterinary hospitals and clinics, excluding outdoor use of property for exercise yards or pens			P						

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.



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CONTEXT AREA AND USE STANDARDS : 90-1409 CORRIDOR EDGE AREA (CE)

90-1409 CORRIDOR EDGE AREA

The following standards apply to the Corridor Edge Area:

1.0 Permitted Building Types

Refer to Division 6 for Building Type requirements.

- A. Retail Building
- B. Live/Work Building
- C. Apartment
- D. Rowhouse
- E. Two-family House
- F. Civic Building

2.0 Permitted Uses

A. Refer to Table 90-1409 for Land Uses permitted in this Area for each Building Type that is permitted in the Area that are as follows:

- Permitted by right (P)
- Permitted by right in Division Avenue Form Based Code Area only (P^D)
- Permitted by right, but not allowed on first floor (P*)
- Permitted by right and only allowed on first floor (P#)
- Permitted by Special Land Use Permit (S)
- Uses indicated with a blank cell are not permitted in this Area.

3.0 Building Height by Context Area

- A. Number of stories for buildings is regulated by Context Area.
- B. Each Building Type has requirements for the height (in feet) of building stories. Refer to Division 6 for Building Type Standards.
- C. Building Height for all buildings:
 - Minimum: No minimum
 - Maximum: Three (3) stories, 45 feet
 - Retail Building: One (1) story building required

4.0 Special Land Uses

The following are specific standards for Special Land Uses in the CE Area. See Division 2 for Special Land Use general review and approval procedures and Section 90-508 of the City of Wyoming Zoning Ordinance for specific standards for Special Land Uses.

- A. Automobile sales.
- B. Car wash.
- C. Dance hall/nightclub.
- D. Drive-through establishments. Drive through entries shall take access from secondary frontages.
- E. Funeral homes or mortuaries.
- F. Open air business.
- G. Parking structures. Parking structure entries shall take access from a Street, and not an Avenue, per Division 8, Thoroughfare Standards.
- H. Pool hall/billiards.
- I. Secondhand businesses.

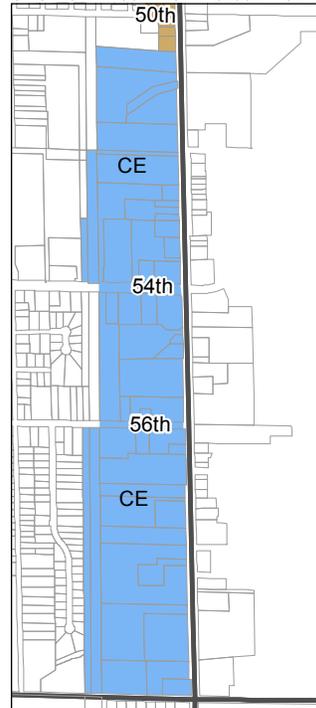
CORRIDOR EDGE AREA DESCRIPTION:

Corridor Edge Area (CE): The Corridor Edge Area represents a district which transitions from more urban areas to the existing development pattern of the City. This Area promotes retail and residential uses with building placement that is more consistent with existing City development patterns and includes the flexibility of locating limited parking in the front of retail buildings that front on 28th Street and Division Avenue.

CORRIDOR EDGE AREA KEY MAP (28TH STREET):



CORRIDOR GENERAL AREA KEY MAP (DIVISION AVE): SECTION 1: 50TH ST. TO 60TH ST.



CHANGES ON THIS PAGE

TABLE 90-1409 CORRIDOR EDGE AREA (CE)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Accessory uses			P	P	P	P			P
Any use in retail sales of 20,000 square feet or more									
Apparel shop			P	P					
Art, including art work, art supplies and framing materials			P	P					
Automobile gasoline/convenience store			P						
Automobile repair and service entirely within an enclosed building, except body shops, painting and refinishing, automobile washes, automobile gasoline and automobile service stations			P						
Automobile sales			S						
Automobile, motorcycle, trailer, recreational vehicle or boat showrooms			P						
Baked goods			P	P					
Bank and financial institution									
Barbershop				P	P#				
Beauty shop				P	P#				
Bowling alley			P						
Bus transfer station			P						P
Business office			P ^D	P					
Business service establishments			P ^D	P					
Car wash			S						
Clothing services			P	P					
College or university			S						P
Commercial greenhouse			P						
Community center			P						
Convalescent or nursing homes					P				
Dance hall/nightclub			S						
Delicatessen			P	P					
Department store			P	P					
Drive-through establishments			S						
Drugstore			P	P					
Dry cleaning establishment (per 90-401B (5) (c))			P						
Eating and drinking establishments (without drive-through service)			P						

CHANGES ON THIS PAGE

P = Permitted use. P^D = Permitted in Division Avenue Form Based Code Area only. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

CONTEXT AREA AND USE STANDARDS : 90-1409 CORRIDOR EDGE AREA (CE)

TABLE 90-1409 CORRIDOR EDGE AREA (CE) (CONTINUED)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Flower shop			P	P					
Funeral homes or mortuaries			S						
General merchandise store			P	P					
Grocery			P	P					
Hardware store, paint and wallpaper			P	P					
Health and fitness					P#				
Hotel					P				
Indoor skating rink			P						
Indoor theater			P						
Medical office			P ^D	P					
Multiple family dwellings				P	P				
Municipal uses									P
Nursery schools, day nurseries, and dependent care facilities for seven or more people				P	P#				
Open air business			S						
Outdoor eating and drinking establishments having table service when part of an indoor eating and drinking establishment			P						
Parking structures			S						
Photographic studio			P	P					
Pool hall/billiards			P						
Printing and publishing				P					
Professional office			P ^D	P					
Religious or social service assembly									P
Secondhand business			S						
Self-service laundry and dry cleaning									
Single-family detached dwelling									
State licensed residential facility									
Two-family dwellings/rowhouses						P	P		
Veterinary hospitals and clinics, excluding outdoor use of property for exercise yards or pens			P						

P = Permitted use. P^D = Permitted in Division Avenue Form Based Code Area only. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

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CONTEXT AREA AND USE STANDARDS : 90-1410 CORRIDOR NEIGHBORHOOD AREA (CN)

90-1410 CORRIDOR NEIGHBORHOOD AREA

The following standards apply to the Corridor Neighborhood Area:

1.0 Permitted Building Types

Refer to Division 6 for Building Type requirements.

- A. Rowhouse
- B. Two-family House
- C. Single-family House
- D. Civic Building

2.0 Permitted Uses

A. Refer to Table 90-1410 for Land Uses permitted in this Area for each Building Type that is permitted in the Area that are as follows:

- Permitted by right (P)
- Permitted by right, but not allowed on first floor (P*)
- Permitted by right and only allowed on first floor (P#)
- Permitted by Special Land Use Permit (S)
- Uses indicated with a blank cell are not permitted in this Area.

3.0 Building Height by Context Area

- A. Number of stories for buildings is regulated by Context Area.
- B. Each Building Type has requirements for the height (in feet) of building stories. Refer to Division 6 for Building Type Standards.
- C. Building Height for all buildings:
 - Minimum: No minimum
 - Maximum: Two (2) stories, 35 feet

4.0 Special Land Uses

The following are specific standards for Special Land Uses in the CN Area. See Division 2 for Special Land Use general review and approval procedures and Section 90-508 of the City of Wyoming Zoning Ordinance for specific standards for Special Land Uses.

- A. Community center.
- B. Nursery schools, day nurseries, and dependent care facilities for seven or more people.

CORRIDOR NEIGHBORHOOD AREA DESCRIPTION:

Corridor Neighborhood District (CN): The Corridor Neighborhood District is a residential district that allows rowhouses, two-family and single-family homes. It is intended to address redevelopment opportunities that are consistent with existing adjacent single-family residential neighborhoods.

CORRIDOR NEIGHBORHOOD AREA KEY MAP (28TH STREET):



CHANGES ON THIS PAGE

TABLE 90-1410 CORRIDOR NEIGHBORHOOD AREA (CN)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Accessory uses						P	P	P	P
Any use in retail sales of 20,000 square feet or more									
Apparel shop									
Art, including art work, art supplies and framing materials									
Automobile gasoline/convenience store									
Automobile repair and service entirely within an enclosed building, except body shops, painting and refinishing, automobile washes, automobile gasoline and automobile service stations									
Automobile sales									
Automobile, motorcycle, trailer, recreational vehicle or boat showrooms									
Baked goods									
Bank and financial institution									
Barbershop									
Beauty shop									
Bowling alley									
Bus transfer station									
Business office									
Business service establishments									
Car wash									
Clothing services									
College or university									
Commercial greenhouse									
Community center									S
Convalescent or nursing homes									
Dance hall/nightclub									
Delicatessen									
Department store									
Drive-through establishments									
Drugstore									
Dry cleaning establishment (per 90-401B (5) (c))									
Eating and drinking establishments (without drive-through service)									

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.

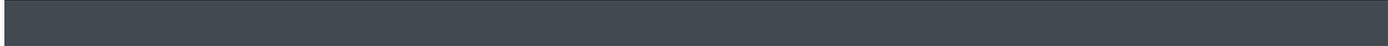
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CONTEXT AREA AND USE STANDARDS : 90-1410 CORRIDOR NEIGHBORHOOD AREA (CN)

TABLE 90-1410 CORRIDOR NEIGHBORHOOD AREA (CN) (CONTINUED)

Specific Use	Mixed Use Building	Zero Lot Line Building	Retail Building	Live/Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House	Civic Building
Flower shop									
Funeral homes or mortuaries									
General merchandise store									
Grocery									
Hardware store, paint and wallpaper									
Health and fitness									
Hotel									
Indoor skating rink									
Indoor theater									
Medical office									
Multiple family dwellings									
Municipal uses									P
Nursery schools, day nurseries, and dependent care facilities for seven or more people									S
Open air business									
Outdoor eating and drinking establishments having table service when part of an indoor eating and drinking establishment									
Parking structures									
Photographic studio									
Pool hall/billiards									
Printing and publishing									
Professional office									
Religious or social service assembly									P
Secondhand business									
Self-service laundry and dry cleaning									
Single-family detached dwelling									P
State licensed residential facility									P
Two-family dwellings/rowhouses						P	P		
Veterinary hospitals and clinics, excluding outdoor use of property for exercise yards or pens									

P = Permitted use. P\$ = Permitted use on floors two and above. P# = Permitted use on first floor only. S = Special Land Use. Blank cell = Use not permitted.



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90-1500 APPLICABILITY

The subdivision of lands within the Form Based Code districts shall adhere to Chapter 74 of the City of Wyoming Code of Ordinances, except as provided herein.

90-1501 LOT REQUIREMENTS

- A. Access. Blocks and Lots shall abut a Street, Avenue or Alley, as defined in Division 8, Thoroughfare Guidelines. Back-up lots shall be permitted, provided that the applicant identify a principal frontage to orient building types and frontage types. Buildings shall face Streets, Avenues or civic spaces.
- B. Width and Depth. Lot width shall be as follows:
 - 1. Residential. Residential lots within the CN Context Area shall be at least 40' in width.
 - 2. Commercial. Commercial or mixed use lots within all Context Areas shall be at least 25' in width.
 - 3. The maximum lot width to depth ratio shall be 1:4.
 - 4. Applicant is encouraged to verify site dimensional requirements for desired building type and applicable thoroughfare standards prior to platting.

90-1502 BLOCK REQUIREMENTS

- A. Length. Blocks shall be not less than 300 feet nor more than 1,250 feet.
- B. Width. Width shall be as necessary to meet site dimensional requirements for applicable building types. Applicants are encouraged to consider providing civic space in the form of plazas, pocket parks, or other public gathering areas dispersed in 1/4 mile increments and not less than 2,500 square feet in area.
- C. Block Frontage. Blocks may front a Street, Avenue, or Alley.
- D. Connectivity. New streets shall connect to existing streets where ever possible.

90-1503 ACCESS REQUIREMENTS

- A. Residential. Alley access is encouraged within the CN Context Area, between Canterbury Street and Colrain Street.
- B. Commercial.
 - 1. Subdivision and site plans shall include a continuous cross access way in accordance with the Rear Alley Thoroughfare Type RA-20-20-C.
 - 2. Cross access agreements shall be legally binding and allow interconnected vehicular and pedestrian access in perpetuity.
 - 3. Rear alleys shall be contiguous along adjacent property lines, forming a travel way parallel to the primary thoroughfare.
 - 4. Similar building types shall face each other across a Street or Avenue, while Alleys may be used to transition between building types.

90-1504 DRIVEWAY REQUIREMENTS

- A. Commercial.
 - 1. Curb cuts shall be at least 160 feet from side streets and other driveways.
 - 2. For access management purposes, driveways shall be shared and connect to the required Rear Alley, as per 90-1503 B. 1.
 - 3. A shared driveway access agreement shall be reviewed and approved by the City Attorney prior to site plan approval.

90-1505 PLATTING REQUIREMENTS

The subdivision of lands shall follow the review and approval process as provided in Chapter 74.

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90-1600 PURPOSE

Division 6 identifies specific Building Types that are allowed within various Context Areas and provides design standards for each type, to ensure that building form and character are consistent with the City of Wyoming Land Use Plan.

90-1601 APPLICABILITY

Each proposed building shall be designed in compliance with the standards of this Division for the applicable Building Type, except civic buildings, which are not required to meet the Building Type Standards of this Code.

90-1602 BUILDING TYPES BY CONTEXT AREA

Property may be developed only with the Building Types allowed by this Article in the Context Area applicable to each lot.

- A. Refer to Table 90-1602 on this page to determine the specific Building Types that are permitted in each of the Context Areas.

90-1603 CONTENTS OF THIS DIVISION

The following Building Types are specified in this Division

- A. Mixed Use Building Type
- B. Zero Lot Line Retail Building Type
- C. Retail Building Type
- D. Live / Work Building Type
- E. Apartment Building Type
- F. Rowhouse Building Type
- G. Two-Family House Building Type
- H. Single-Family House Building Type

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TABLE 90-1602 BUILDING TYPES PERMITTED PER CONTEXT AREA

Building Types	Corridor Center (CC)	Corridor Urban (CU)	Corridor General (CG)	Corridor Sub-Urban (CS)	Corridor Edge (CE)	Corridor Neighborhood (CN)
Mixed Use Building						
Zero Lot Line Retail Building						
Retail Building						
Live / Work Building						
Apartment						
Rowhouse						
Two-Family House						
Single-Family House						
Civic Building						

White cells represent Context Areas where Building Type is permitted.

Darkened cells represent Context Areas where Building Type is NOT permitted.

90-1604 HOW TO USE THIS DIVISION

Refer to sample pages on this sheet for references of how to use each Building Type Standard. These pages are representative of the layout for each Building Type contained in this Division.

- A. Building Character: This box serves as an introduction to the Building Type, including precedent examples, a general Building Type description, and whether the Building Type is permitted to have an accessory building and/or structure.
- B. Access: Specifies required building access and door location requirements. For many Building Types, this section specifies the maximum building length allowed without a pedestrian access-way between building frontages.
- C. Building Height: Indicates the required minimum and maximum number of stories permitted for the Building Type and the minimum number of feet required for each story. This section also specifies the minimum and maximum number of stories for some of the Building Types. For Building Types where the maximum number of stories is not indicated, refer to the Context Areas in Division 4 for the maximum number of stories allowed.
- D. Facade Composition: Indicates the required façade composition specifications for Building Type, including upper floor(s) transparency, massing, proportion, and roof type.
- E. Private Frontage: Specifies the required Private Frontage Types that are permitted to be applied to the Building Type. Private Frontages define the architecture and design components for the entrance(s) to the building and the area between the façade and the Frontage Line(s). Refer to Division 7 for Private Frontage Types.
- F. Site Dimensional Requirements: Indicates the site placement for the Building Type, including build-to-lines, build-to-zones, setbacks, encroachments, required building depths, and site coverage.

ARTICLE 11 DIVISION 6
BUILDING TYPE STANDARDS - 90-1606 MIXED USE BUILDING TYPE

90-1606 Mixed Use Building Type
The following standards apply to the Mixed Use Building Type:

1.0 Access

- A. The main entrance(s) to ground story commercial space(s) shall be direct to a street, public path or civic space. Direct building access shall occur at intervals no greater than 150 feet (75) feet.
- B. Access to upper floors shall be through a street level lobby, visible from the street.
- C. Contiguous Mixed-Use Buildings shall not exceed two-hundred-forty (240) feet along a street frontage without a pedestrian access-way at least ten (10) feet wide that connects the rear-parking area to the sidewalk.

2.0 Building Height
Refer to Illustration 6.01 for building height graphic representation.

- A. Maximum number of stories and maximum building height permitted for Mixed-Use Buildings is regulated by Context Area. Refer to Division 4.
- B. Mixed-Use Buildings shall be a minimum of two (2) stories in height.
- C. First story shall be a minimum in height, measured from finished floor to finished ceiling.
- D. Upper stories shall be a minimum in height, measured from finished floor to finished ceiling.
- E. First Floor Entry Door Height Above Grade. First floor at entry door location is required to be at the same elevation as the adjacent sidewalk grade along the Principal Frontage (zero vertical separation).

3.0 Facade Composition Requirements
Refer to Illustration 6.02 for building composition graphic reference.

- A. Building shall have a cornice expression line at rooftop.
- B. Building shall have a cornice expression line at rooftop.
- C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression.
- D. Transparency First Floor: Private Frontage Types (Division 7) for Private Frontage Types.
- E. Upper windows shall be vertically proportioned with clear glass. Refer to requirements in Division 11 for clear glass requirements.
- F. Building shall have an 18" to 32" plaster or wall surface every 20 to 40 feet along building facades facing streets. Plasters shall extend vertically from grade to cornice expression line.
- G. Building Materials: Refer to section 90-1614 for required building materials.

MIXED USE BUILDING CHARACTER EXAMPLES

MIXED USE BUILDING DEFINITION
A lot containing and developed for use as a multi-story building with multiple dwelling units in the upper story and various commercial uses permitted within any story.
Accessory Buildings are not permitted on Mixed Use Building Type lots. Accessory Structures are allowed on Mixed Use Building Type lots.

ILLUSTRATION 6.01 BUILDING HEIGHT

ILLUSTRATION 6.02 FACADE COMPOSITION

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ARTICLE 11 DIVISION 6
BUILDING TYPE STANDARDS - 90-1606 MIXED USE BUILDING TYPE

ILLUSTRATION 6.03 SITE DIMENSIONAL REQUIREMENTS

4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Mixed-Use Building:
 1. SB
 2. BA
 3. DR

5.0 Use
Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements
Refer to Illustration 6.03 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - 0 feet - required build-to-line (no setback is allowed, building shall be at frontage line).
- B. Side Setback (at Principal Frontage):
 - 0 feet - required build-to-line (no setback is allowed, building shall be at frontage line).
- C. Side Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Rear Property Line.
- E. Optional angled building corner with required entry door. Maximum length of angled wall shall be eight (8) feet.
- F. Required twenty (20) foot minimum building depth.
- G. At corner locations: Required thirty (30) foot minimum extension of required building depth along secondary frontages. Thirty (30) foot extension is in addition to the required twenty (20) foot minimum depth.
- H. Building facade width along Principal Frontage shall be built to a minimum of 90% of the overall length of the Principal Frontage Line length.
- I. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- J. Maximum site coverage for Mixed-Use Buildings is 100%.

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90-1605 STANDARDS FOR ALL BUILDING TYPES

The following standards apply to all Building Types:

- A. **Principal Frontage:** Principal frontages of buildings represent the building front and are located at the public right-of-way lines along the street, public path or civic space of address for the building.
- B. **Secondary Frontage:** Secondary Frontages of buildings represent the building sides that are located at the public right-of-way lines along all streets, public paths or civic spaces that are not the street of address for the building. The side setback for secondary frontages shall apply to all situations where secondary frontages occur at more than one side of a building (due to a parcel that is bound on more than two sides by right-of-way lines).
- C. **Principal Frontage Transparency Requirements at First Story:** Each Building Type's first story transparency at the Principal Frontage Line is per the Private Frontage Requirements. Secondary Frontages are required to use one (1) of the following standards:
 - 1. Transparency that is the same as what is required by the upper stories for the Building Type.
 - 2. Transparency that is the same as the Private Frontage that has been applied to the Principal Frontage.
- D. **Setback Measurements:** For all Principal and Secondary Frontage locations along the required 28th Street greenbelt, the required build-to-lines, build-to-zones and setback measurements shall be taken from the back edge (the edge facing the private side of the right-of-way) of the greenbelt. Refer to Division 3 for greenbelt measurement and design.
- E. **Frontage Percentages:** Each Building Type indicates a frontage percentage requirement along the Principal Frontage Line. This percentage is the amount of a lot line adjoining the public right-of-way that is occupied by the front façade of the principal building. The front façade shall be parallel to the right-of-way, located in accordance with the required build-to-lines or build-to-zones.
- F. **Private Frontages:** Private Frontage Types define architecture and design components for the entrance(s) to the building and the area between the façade and the Frontage Line. Each Building Type identifies the appropriate Private Frontage Type(s). The use of one of the Private Frontage Types identified is required. Refer to Division 7 for Private Frontage Types.
- G. **Maximum Site Coverage:** The maximum site coverage applies to all buildings on a lot, including accessory buildings.
- H. **Building Height:** Buildings shall comply with the overall maximum height regulations (as measured in feet) that are established by Context Area.
- I. **Accessory Buildings:** Accessory buildings shall comply with the following standards:
 - 1. **Allowed per Building Type:** One (1) accessory building is permitted in addition to the principal building for Live / Work, Rowhouse, Two-Family House and Single-Family House Building Types.
 - 2. **Accessory Building Use:** Accessory buildings may contain a garage and / or home office space.
 - 3. **Accessory Building Size:** Six-hundred (600) square feet.
 - 4. **Accessory Building Location:** Accessory buildings shall be located in the rear of the lot and adhere to the setbacks established for the principal building.
 - 5. **Accessory Building Height:** Accessory buildings shall be limited to two (2) stories in height and shall comply with the overall maximum height regulations established by Context District.
- J. **Side Yard Walls:** Each building shall have separate walls to support all loads independently of any walls located on an adjacent lot. Buildings with side-facing windows shall provide necessary light and air shafts within their own lot, without relying on the side yard of the adjacent lot.
- K. **Landscape Standards:** Refer to Division 3 for Landscape Standards and 28th Street greenbelt measurement and design.
- L. **Parking Requirements and Standards:** Parking requirements for each Building Type are based on use. Refer to Division 9 for parking requirements and standards.
- M. **Sign Standards:** Refer to Division 10 for Sign Standards.

90-1606 Mixed Use Building Type

The following standards apply to the Mixed Use Building Type:

1.0 Access

- A. The main entrance(s) to ground story commercial space(s) shall be directly from and face a street, public path or civic space. Doors allowing public access shall occur at intervals no greater than seventy-five (75) feet.
- B. Access to upper story units shall be through a street level lobby, visible from the street.
- C. Contiguous Mixed-Use Buildings shall not exceed two-hundred-forty (240) feet along a street frontage without a pedestrian access-way at least ten (10) feet wide that connects the rear parking area to the sidewalk.

2.0 Building Height

Refer to Illustration 6.01 for building height graphic representation.

- A. Maximum number of stories and maximum building height permitted for Mixed-Use Buildings is regulated by Context Area. Refer to Division 4.
- B. Mixed-Use Buildings shall be a minimum of two (2) stories in height.
- C. First story shall be twelve (12) feet minimum in height, measured from finished floor to finished ceiling.
- D. Upper stories shall be eight (8) feet minimum in height, measured from finished floor to finished ceiling.
- E. First Floor Entry Door Height Above Grade. First floor at entry door location is required to be at the same elevation as the adjacent sidewalk grade along the Principal Frontage (zero vertical separation).

3.0 Facade Composition Requirements

Refer to Illustration 6.02 for building composition graphic reference.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the façade be windows between the finish floor line of the second story and bottom of cornice expression line.
- D. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- E. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.
- F. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.
- G. Building Materials: Refer to section 90-1614 for required building materials.

MIXED USE BUILDING CHARACTER EXAMPLES:



MIXED USE BUILDING DESCRIPTION:

A lot located and designed to accommodate a multi-story building with multiple dwelling units in the upper story and various commercial uses permitted within any story.

Accessory Buildings are not permitted on Mixed Use Building Type lots. Accessory Structures are allowed on Mixed Use Building Type lots.

ILLUSTRATION 6.01 BUILDING HEIGHT

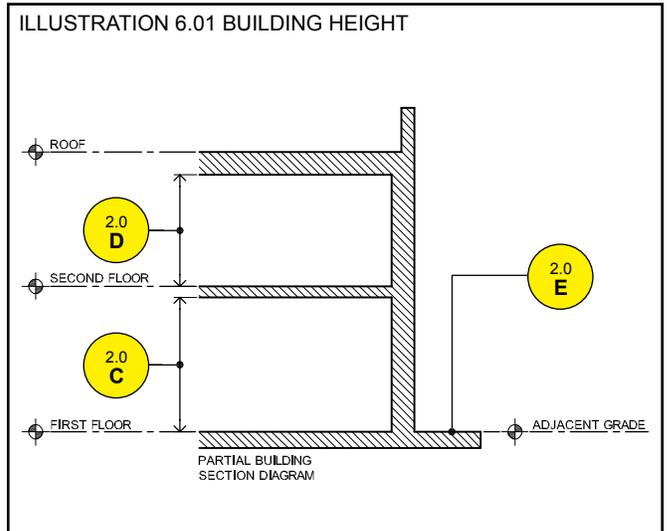
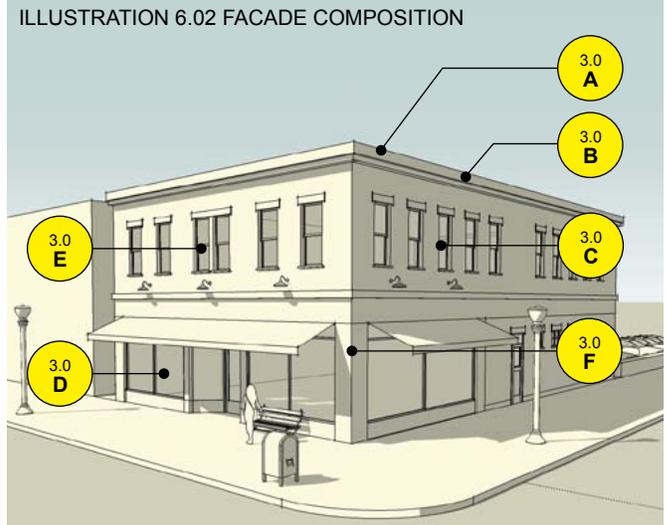
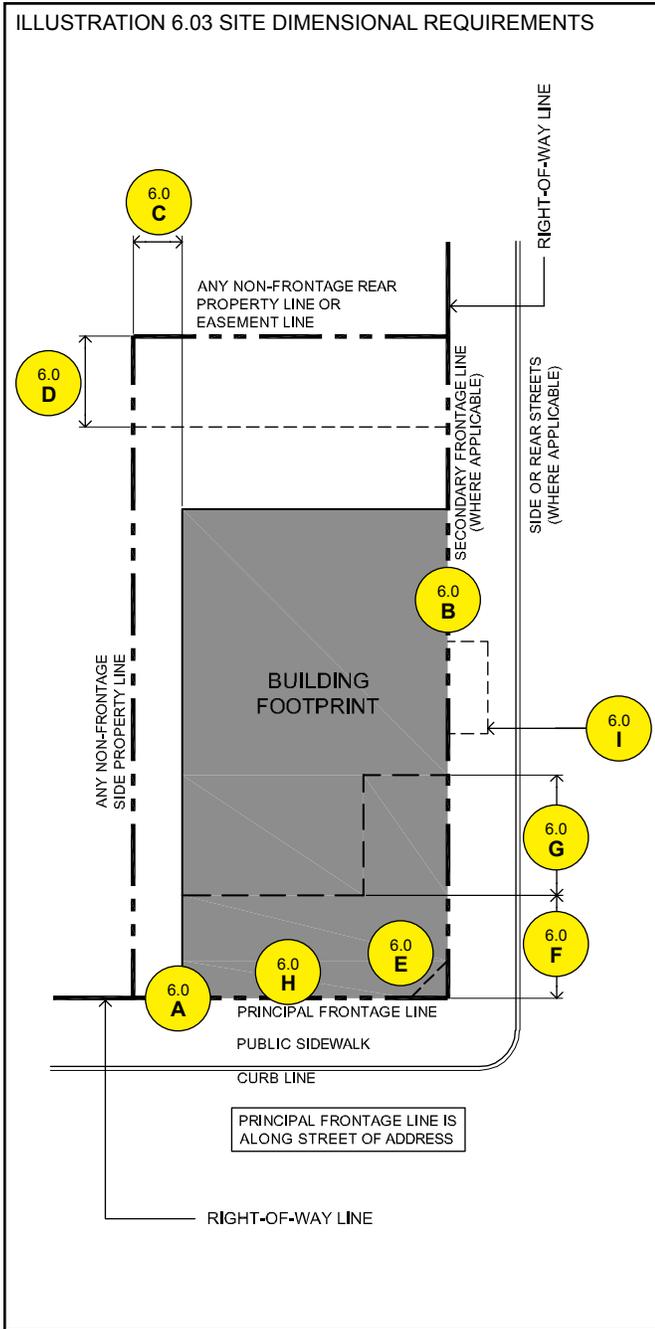


ILLUSTRATION 6.02 FACADE COMPOSITION



BUILDING TYPE STANDARDS : 90-1606 MIXED USE BUILDING TYPE

ILLUSTRATION 6.03 SITE DIMENSIONAL REQUIREMENTS



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Mixed-Use Building:
 1. Storefront Private Frontage
 2. Balcony Private Frontage
 3. Drive-through Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.03 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - 0 feet - required build-to-line (no setback is allowed, building shall be at frontage line).
- B. Side Setback (at Secondary Frontage):
 - 0 feet - required build-to-line (no setback is allowed, building shall be at frontage line).
- C. Side Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Rear Property Line.
- E. Optional angled building corner with required entry door. Maximum length of angled wall shall be eight (8) feet.
- F. Required twenty (20) foot minimum building depth.
- G. At corner locations: Required thirty (30) foot minimum extension of required building depth along secondary frontages. Thirty (30) foot extension is in addition to the required twenty (20) foot minimum depth.
- H. Building façade width along Principal Frontage shall be built to a minimum of 90% of the overall length of the Principal Frontage Line length.
- I. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- J. Maximum site coverage for Mixed-Use Buildings is 100%.

BUILDING TYPE STANDARDS : 90-1607 RETAIL BUILDING TYPE (ZERO LOT LINE)

90-1607 Retail Building Type (Zero Lot Line)

The following standards apply to the Zero Lot Line Retail Building Type:

1.0 Access

- A. The main entrance(s) to ground story commercial space(s) shall be directly from and face a street, public path or civic space. Doors allowing public access shall occur at intervals no greater than seventy-five (75) feet.
- B. Contiguous Zero Lot Line Retail Buildings shall not exceed two-hundred-forty (240) feet along a street frontage without a pedestrian access-way at least ten (10) feet wide that connects the rear parking area to the sidewalk.

2.0 Building Height

Refer to Illustration 6.04 for building height graphic representation.

- A. Maximum building height permitted for Zero Lot Line Retail Buildings is regulated by Context Area. Refer to Division 4.
- B. Zero Lot Line Retail Buildings shall be one (1) story in height. Upper stories are not permitted on the Zero Lot Line Retail Building Type.
- C. Refer to Mixed Use Building Type if multiple stories are desired.
- D. First story shall be twelve (12) feet minimum in height, measured from finished floor to finished ceiling.
- E. First Floor Entry Door Height Above Grade. First floor at entry door location is required to be at the same elevation as the adjacent sidewalk grade along the Principal Frontage (zero vertical separation).

3.0 Facade Composition Requirements

Refer to Illustration 6.05 for building composition graphic reference.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- D. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.
- E. Building Materials: Refer to section 90-1614 for required building materials.

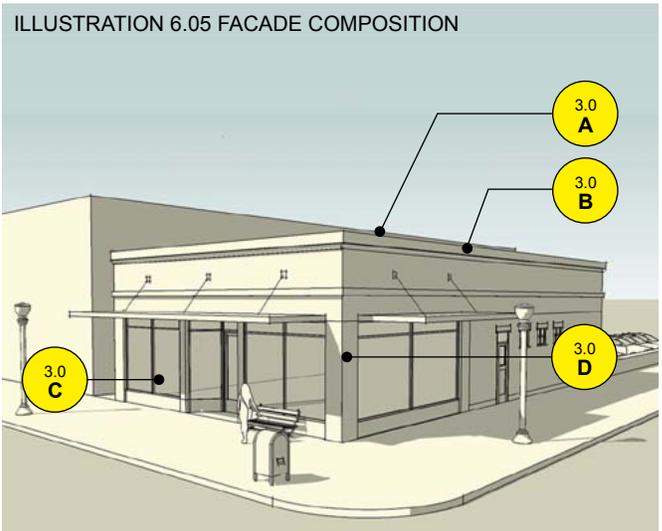
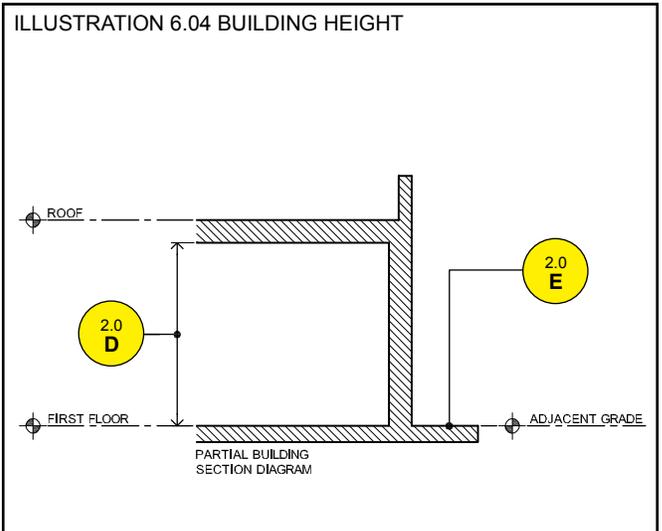
ZERO LOT LINE RETAIL BUILDING CHARACTER EXAMPLES:



ZERO LOT LINE RETAIL BUILDING DESCRIPTION:

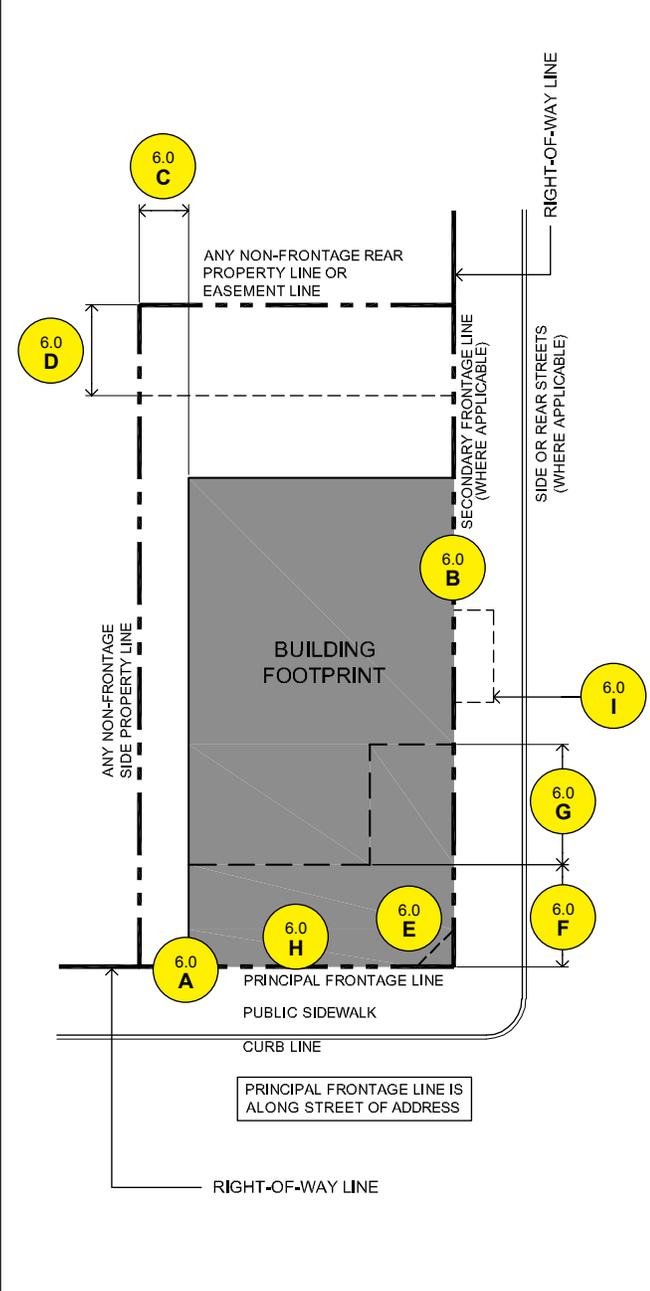
A lot located and designed to accommodate a single-story building with various commercial uses permitted at the ground floor level. Building site placement is required to have no setback at the Principal Frontage Line.

Accessory Buildings are not permitted on Zero Lot Line Retail Building Type lots. Accessory Structures are allowed on Zero Lot Line Retail Building Type lots.



BUILDING TYPE STANDARDS : 90-1607 RETAIL BUILDING TYPE (ZERO LOT LINE)

ILLUSTRATION 6.06 SITE DIMENSIONAL REQUIREMENTS



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Zero Lot Line Retail Building:
 1. Storefront Private Frontage
 2. Drive-through Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.06 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - 0 feet - required build-to-line (no setback is allowed, building shall be at frontage line).
- B. Side Setback (at Secondary Frontage):
 - 0 feet - required build-to-line (no setback is allowed, building shall be at frontage line).
- C. Side Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Rear Property Line.
- E. Optional angled building corner with required entry door. Maximum length of angled wall shall be eight (8) feet.
- F. Required twenty (20) foot minimum building depth.
- G. At corner locations: Required thirty (30) foot minimum extension of required building depth along secondary frontages. Thirty (30) foot extension is in addition to the required twenty (20) foot minimum depth.
- H. Building façade width along Principal Frontage shall be built to a minimum of 90% of the overall length of the Principal Frontage Line length.
- I. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- J. Maximum site coverage for Zero Lot Line Retail Buildings is 100%.

90-1608 Retail Building Type

The following standards apply to the Retail Building Type:

1.0 Access

- A. The main entrance(s) to ground story commercial space(s) shall be directly from and face a street, public path or civic space. Doors allowing public access shall occur at intervals no greater than seventy-five (75) feet.
- B. Contiguous Zero Lot Line Retail Buildings shall not exceed two-hundred-forty (240) feet along a street frontage without a pedestrian access-way at least ten (10) feet wide that connects the rear parking area to the sidewalk.

2.0 Building Height

Refer to Illustration 6.07 for building height graphic representation.

- A. Maximum building height permitted for Retail Buildings is regulated by Context Area. Refer to Division 4.
- B. Retail Buildings shall be one (1) story in height. Upper stories are not permitted on the Retail Building Type.
- C. Refer to Mixed Use Building Type if multiple stories are desired.
- D. First story shall be twelve (12) feet minimum in height, measured from finished floor to finished ceiling.
- E. Retail Buildings that have a pitched roof may have an optional attic space that is not among the number of stories regulated by Context Area.
- F. First Floor Entry Door Height Above Grade. First floor at entry door height above grade is dependant on the Private Frontage used for this Building Type. Refer to Private Frontages permitted for this Building Type and Division 7.

3.0 Facade Composition Requirements

Refer to Illustrations 6.07 and 6.08 for building composition graphic reference.

- A. Building may have a flat roof with parapet or a pitched roof.
- B. Buildings with a flat roof shall have a cornice expression line at roofline.
- C. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- D. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.
- E. Building Materials: Refer to section 90-1614 for required building materials.

RETAIL BUILDING CHARACTER EXAMPLES:



RETAIL BUILDING DESCRIPTION:

A lot located and designed to accommodate a single-story building with various commercial uses permitted at the ground floor level. Building site placement has a variable build-to-zone at the Principal Frontage Line.

Accessory Buildings are not permitted on Retail Building Type lots. Accessory Structures are allowed on Retail Building Type lots.

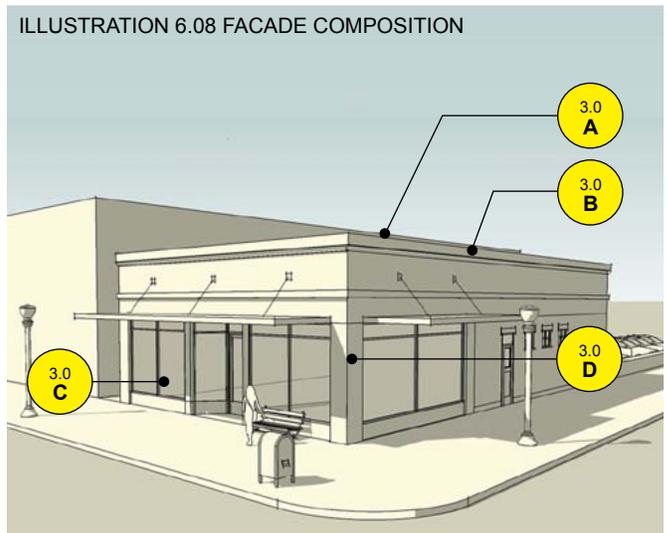
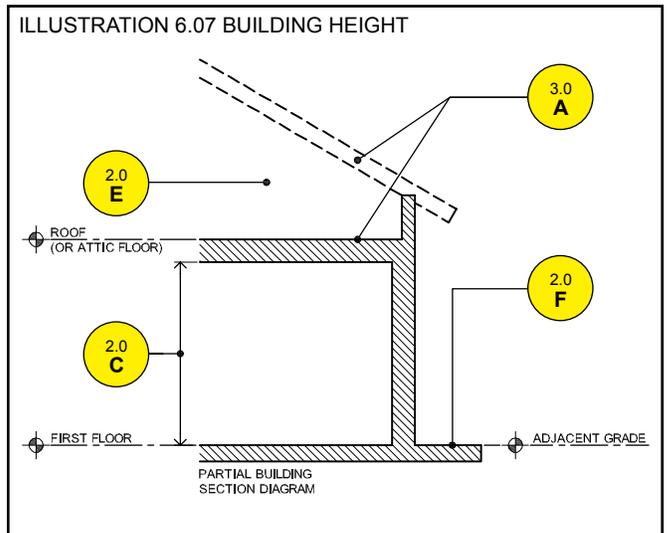
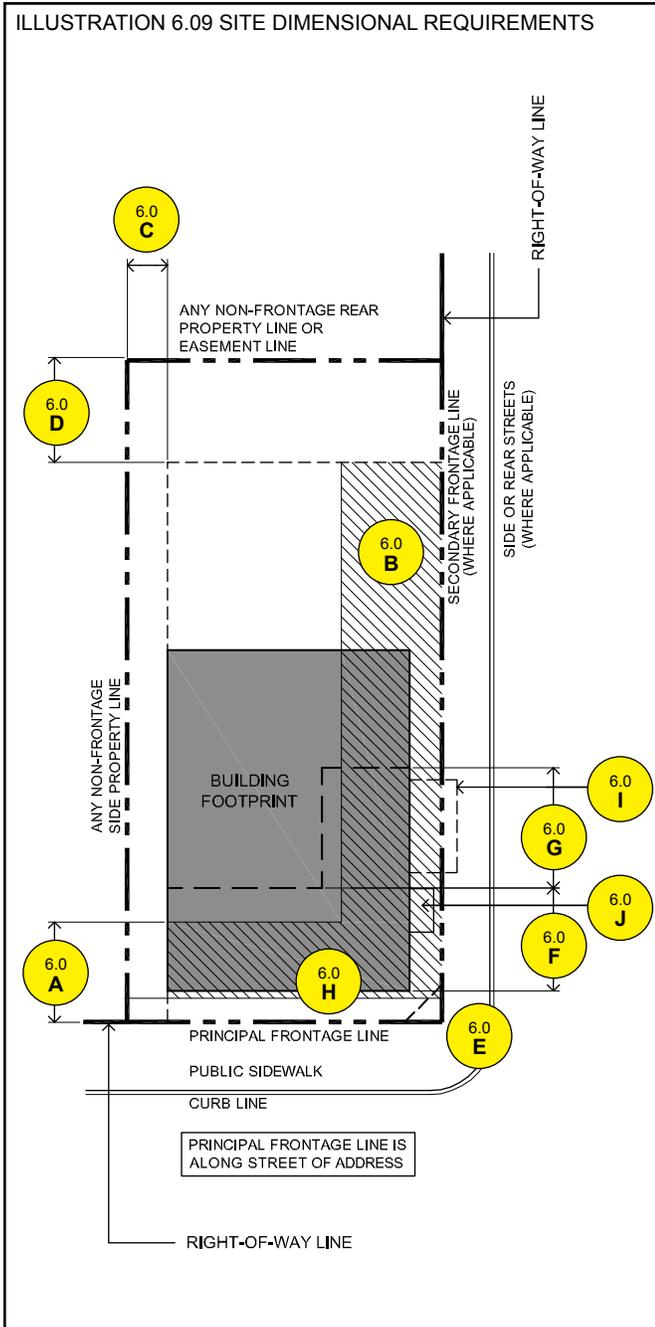


ILLUSTRATION 6.09 SITE DIMENSIONAL REQUIREMENTS



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Retail Building:
 1. Storefront Private Frontage
 2. Shopfront Private Frontage
 3. Drive-through Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.09 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - Required build-to-zone from 5 to 15 feet from Principal Frontage Line (building shall be within build-to-zone).
 - In Corridor Edge Context Area (CE) with Principal Frontages along 28th Street: Required build-to-zone shall be 5 to 50 feet from Principal Frontage Line.
- B. Side Setback (at Secondary Frontage):
 - Required build-to-zone from 0 to 15 feet from Secondary Frontage Line (building shall be within build-to-zone).
- C. Side Setback (at non-frontage locations):
 - 3 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 10 feet from Non-Frontage Rear Property Line.
- E. Optional angled building corner with required entry door. Maximum length of angled wall shall be eight (8) feet.
- F. Required twenty (20) foot minimum building depth.
- G. At corner locations: Required thirty (30) foot minimum extension of required building depth along secondary frontages. Thirty (30) foot extension is in addition to the required twenty (20) foot minimum depth.
- H. Building façade width along Principal Frontage shall be built to a minimum of 50% of the overall length of the Principal Frontage Line length.
- I. Balconies, awnings, canopies, cornices, eaves, upper bays, and projecting signs may extend into setbacks, beyond build-to-zones or into the public right-of-way per the requirements of the encroachment section in Division 3.
- J. Unenclosed porches, stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Division 3. These elements shall not project into the public right-of-way.
- K. Maximum site coverage for Retail Buildings is 90%.

90-1609 Live / Work Building Type

The following standards apply to the Live / Work Building Type:

1.0 Access

- A. The main entrance to ground story commercial space shall be directly from and face a street, public path or civic space.
- B. Access to upper story dwelling unit may be by a separate entrance.
- C. Internal access between the residential and commercial spaces is required.

2.0 Building Height

Refer to Illustration 6.10 for building height graphic representation.

- A. Maximum building height permitted for Live / Work Buildings is regulated by Context Area. Refer to Division 4.
- B. Live / Work Buildings shall be a minimum of two (2) stories in height.
- C. Live / Work Buildings shall be a maximum of three (3) stories in height.
- D. First story shall be ten (10) feet minimum in height, measured from finished floor to finished ceiling.
- E. Upper stories shall be eight (8) feet minimum in height, measured from finished floor to finished ceiling.
- F. Live / Work buildings that have a pitched roof may have an optional attic space that is not among the number of stories regulated by Context Area.
- G. First Floor Entry Door Height Above Grade. First floor at entry door height above grade is dependant on the Private Frontage used for this Building Type. Refer to Private Frontages permitted for this Building Type and Division 7.

3.0 Facade Composition Requirements

Refer to Illustrations 6.10 and 6.11 for building composition graphic reference.

- A. Building may have a flat roof with parapet or a pitched roof.
- B. Buildings with a flat roof shall have a cornice expression line at roofline.
- C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the façade be windows between the finish floor line of the second story and bottom of cornice expression line or eave.
- D. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- E. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.
- F. Building shall have an 18" to 32" pilaster or wall surface every 14 to 26 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.
- G. Building Materials: Refer to section 90-1614 for required building materials.

LIVE / WORK BUILDING CHARACTER EXAMPLES:



LIVE / WORK BUILDING DESCRIPTION:

A lot located and designed to accommodate an attached or detached building with integrated residence and commercial space utilized by a single-family household. The ground floor is designed to accommodate commercial uses with a single residence in the upper stories, although ground floor may also accommodate residential uses.

Accessory Buildings are allowed on Live / Work Building Type lots. Accessory Structures are allowed on Live / Work Building Type lots.

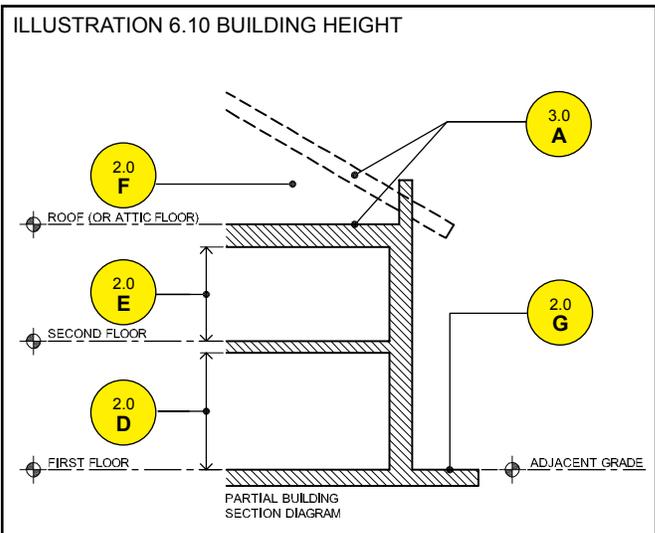
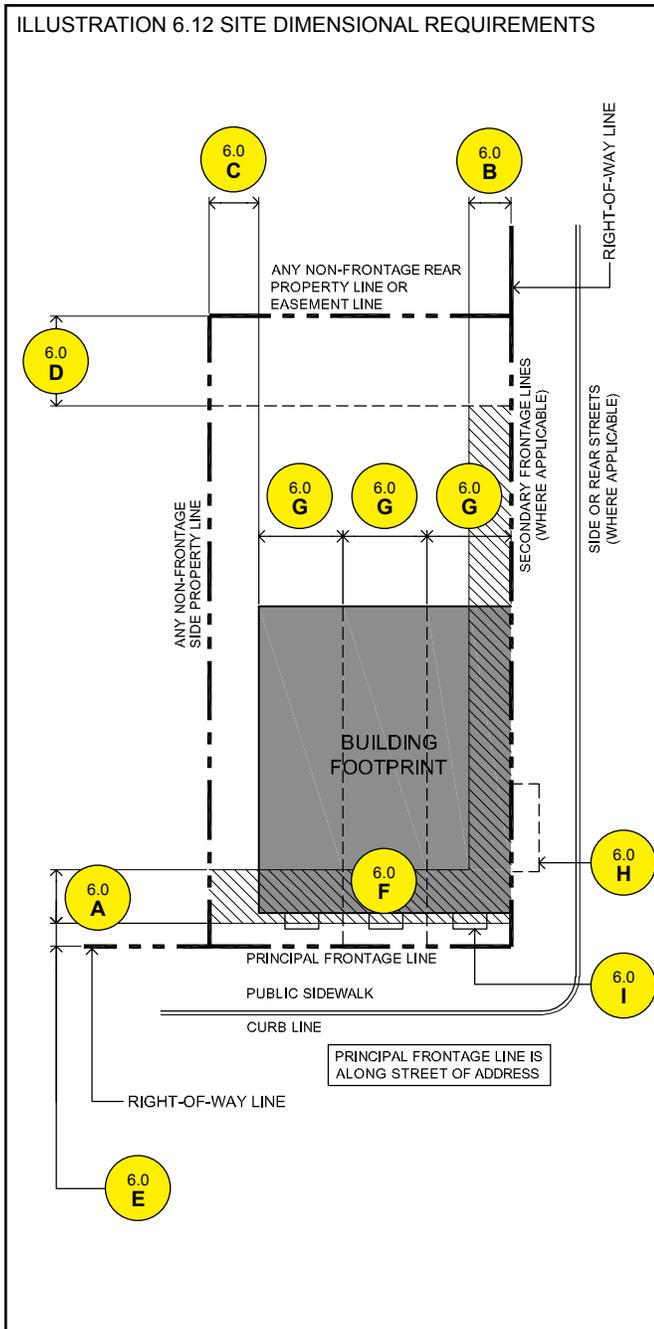


ILLUSTRATION 6.11 FACADE COMPOSITION



BUILDING TYPE STANDARDS : 90-1609 LIVE / WORK BUILDING TYPE

ILLUSTRATION 6.12 SITE DIMENSIONAL REQUIREMENTS



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Live / Work Building:
 1. Storefront Private Frontage
 2. Shopfront Private Frontage
 3. At-Grade Private Frontage
 4. Lightwell Private Frontage
 5. Stoop Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.12 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - Required build-to-zone from 5 to 20 feet from Principal Frontage Line (building shall be within build-to-zone).
- B. Side Setback (at Secondary Frontage):
 - Required build-to-zone from 0 to 10 feet from Secondary Frontage Line (building shall be within build-to-zone).
- C. Side Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 10 feet from Non-Frontage Rear Property Line.
- E. Front build-to-zone shall begin five (5) feet from the Principal Frontage Line.
- F. Building façade width along Principal Frontage shall be built to a minimum of 80% of the overall length of the Principal Frontage Line length.
- G. Individual unit widths shall be fourteen (14) feet to twenty-six (26) feet per unit.
- H. Balconies, awnings, canopies, cornices, eaves, upper bays, and projecting signs may extend into setbacks, beyond build-to-zones or into the public right-of-way per the requirements of the encroachment section in Division 3.
- I. Unenclosed porches, stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Division 3. These elements shall not project into the public right-of-way.
- J. Maximum site coverage for Live / Work Buildings is 80%.

90-1610 Apartment Building Type

The following standards apply to the Apartment Building Type:

1.0 Access

- A. Access to residential uses shall be through a lobby entrance.
- B. Access to non-residential uses may be directly from the street, public path or civic space or through a lobby.
- C. Lobby entrances shall be directly from the street, public path or civic space.

2.0 Building Height

Refer to Illustration 6.13 for building height graphic representation.

- A. Maximum number of stories and maximum building height permitted for Apartment Buildings is regulated by Context Area. Refer to Division 4.
- B. Apartment Buildings shall be a minimum of two (2) stories in height.
- C. First story shall be nine (9) feet minimum in height, measured from finished floor to finished ceiling.
- D. Upper stories shall be eight (8) feet minimum in height, measured from finished floor to finished ceiling.
- E. Apartment buildings that have a pitched roof may have an optional attic space that is not among the number of stories regulated by Context Area.
- F. First Floor Entry Door Height Above Grade. First floor at entry door height above grade is dependant on the Private Frontage used for this Building Type. Refer to Private Frontages permitted for this Building Type and Division 7.

3.0 Facade Composition Requirements

Refer to Illustrations 6.13 and 6.14 for building composition graphic reference.

- A. Building may have a flat roof with parapet or a pitched roof.
- B. Buildings with a flat roof shall have a cornice expression line at roofline.
- C. Transparency Upper Stories: Building facades facing streets shall have 10% to 30% of the façade be windows between the finish floor line of the second story and bottom of cornice expression line or eave.
- D. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- E. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.
- F. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.
- G. Building Materials: Refer to section 90-1614 for required building materials.

APARTMENT BUILDING CHARACTER EXAMPLES:



APARTMENT BUILDING DESCRIPTION:

A lot located and designed to accommodate a multi-story building with multiple dwelling units above and beside each other.

Accessory Buildings are not permitted on Apartment Building Type lots.

Accessory Structures are allowed on Apartment Building Type lots.

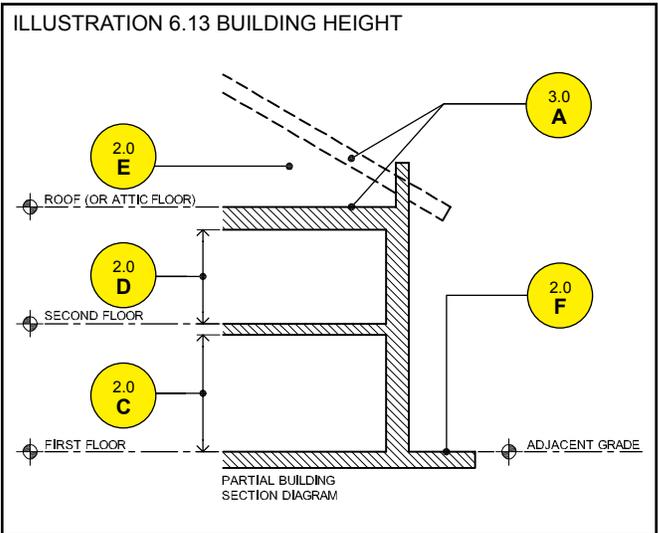
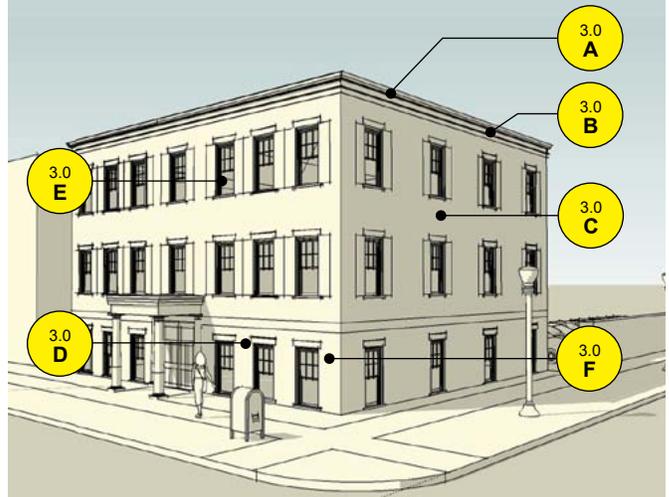
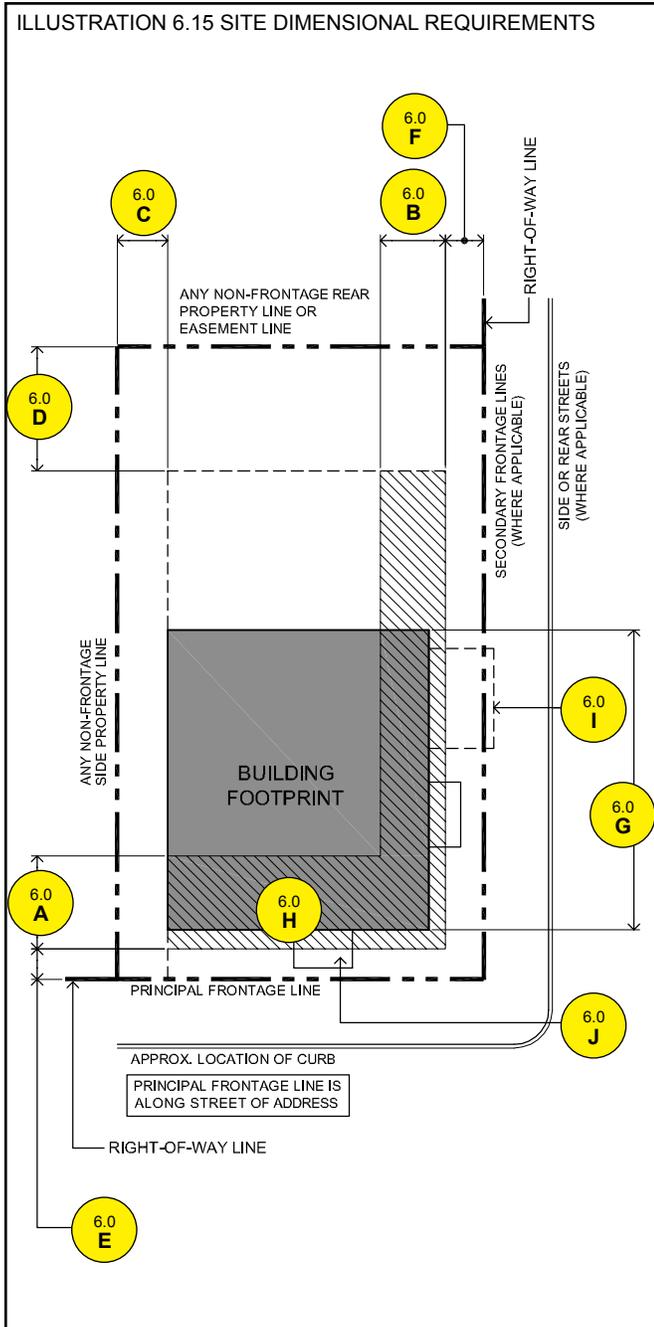


ILLUSTRATION 6.14 FACADE COMPOSITION



BUILDING TYPE STANDARDS : 90-1610 APARTMENT BUILDING TYPE



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Apartment Building:
 1. At-Grade Private Frontage
 2. Courtyard Private Frontage
 3. Stoop Private Frontage
 4. Porch Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.15 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - Required build-to-zone from 8 to 30 feet from Principal Frontage Line (building shall be within build-to-zone).
- B. Side Setback (at Secondary Frontage):
 - Required build-to-zone from 3 to 20 feet from Secondary Frontage Line (building shall be within build-to-zone).
- C. Side Setback (at non-frontage locations):
 - 7 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 10 feet from Non-Frontage Rear Property Line.
- E. Front build-to-zone shall begin eight (8) feet from the Principal Frontage Line.
- F. Side build-to-zone at Secondary Frontage shall begin three (3) feet from Secondary Frontage Line.
- G. Required fifty (50) foot minimum building depth.
- H. Building façade width along Principal Frontage shall be built to a minimum of 60% of the overall length of the Principal Frontage Line length.
- I. Balconies, awnings, canopies, cornices, eaves, upper bays, and projecting signs may extend into setbacks, beyond build-to-zones or into the public right-of-way per the requirements of the encroachment section in Division 3.
- J. Unenclosed porches, stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Division 3. These elements shall not project into the public right-of-way.
- K. Maximum site coverage for Apartment Buildings is 70%.

BUILDING TYPE STANDARDS : 90-1611 ROWHOUSE BUILDING TYPE

90-1611 Rowhouse Building Type

The following standards apply to the Rowhouse Building Type:

1.0 Access

- A. The main entrance to each dwelling unit shall be directly from and face a street, public path or civic space.

2.0 Access

- A. Rowhouse buildings are required to have a minimum of three (3) contiguous units.
- B. No more than eight (8) contiguous rowhouse lots shall occur without a pedestrian access-way of at least ten (10) feet.

3.0 Building Height

Refer to Illustration 6.16 for building height graphic representation.

- A. Maximum building height permitted for Rowhouse Buildings is regulated by Context Area. Refer to Division 4.
- B. Rowhouse Buildings shall be a minimum of two (2) stories in height.
- C. Rowhouse Buildings shall be a maximum of three (3) stories in height.
- D. First story shall be nine (9) feet minimum in height, measured from finished floor to finished ceiling.
- E. Upper stories shall be eight (8) feet minimum in height, measured from finished floor to finished ceiling.
- F. Rowhouse buildings that have a pitched roof may have an optional attic space that is not among the number of stories regulated by Context Area.
- G. First Floor Entry Door Height Above Grade. First floor at entry door height above grade is dependant on the Private Frontage used for this Building Type. Refer to Private Frontages permitted for this Building Type and Division 7.

4.0 Facade Composition Requirements

Refer to Illustrations 6.16 and 6.17 for building composition graphic reference.

- A. Building may have a flat roof with parapet or a pitched roof.
- B. Buildings with a flat roof shall have a cornice expression line at roofline.
- C. Transparency Upper Stories: Building facades facing streets shall have a minimum of 20% of the façade be windows between the finish floor line of the second story and bottom of cornice expression line or eave.
- D. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- E. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.
- F. Building shall have an 18" to 32" pilaster or wall surface every 14 to 26 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.
- G. Building Materials: Refer to section 90-1614 for required building materials.

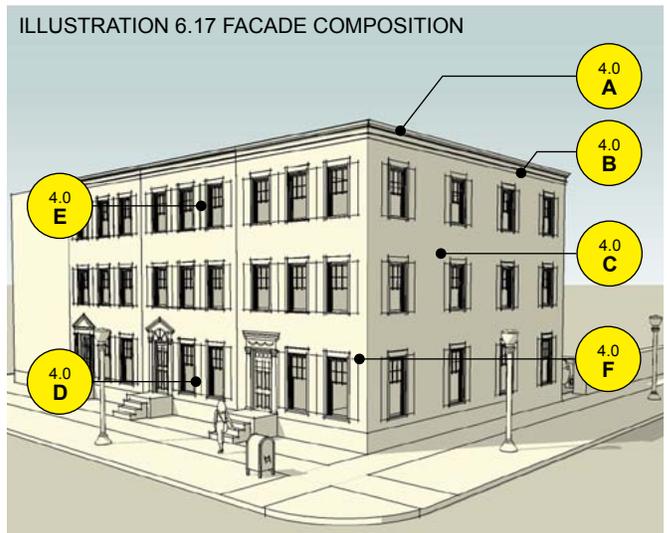
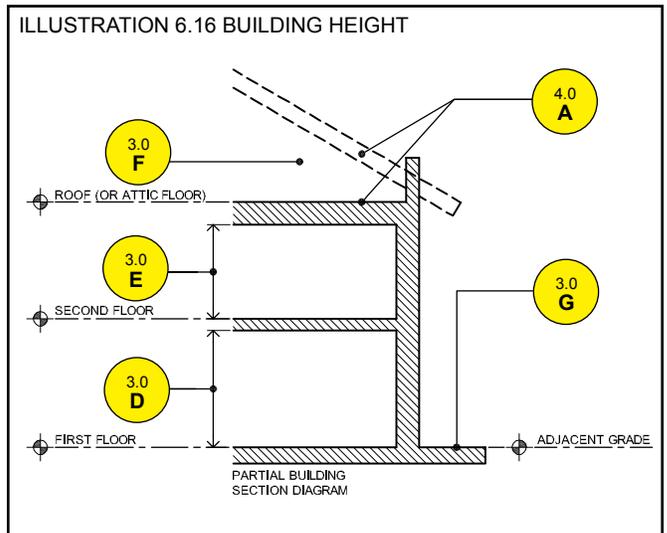
ROWHOUSE BUILDING CHARACTER EXAMPLES:



ROWHOUSE BUILDING DESCRIPTION:

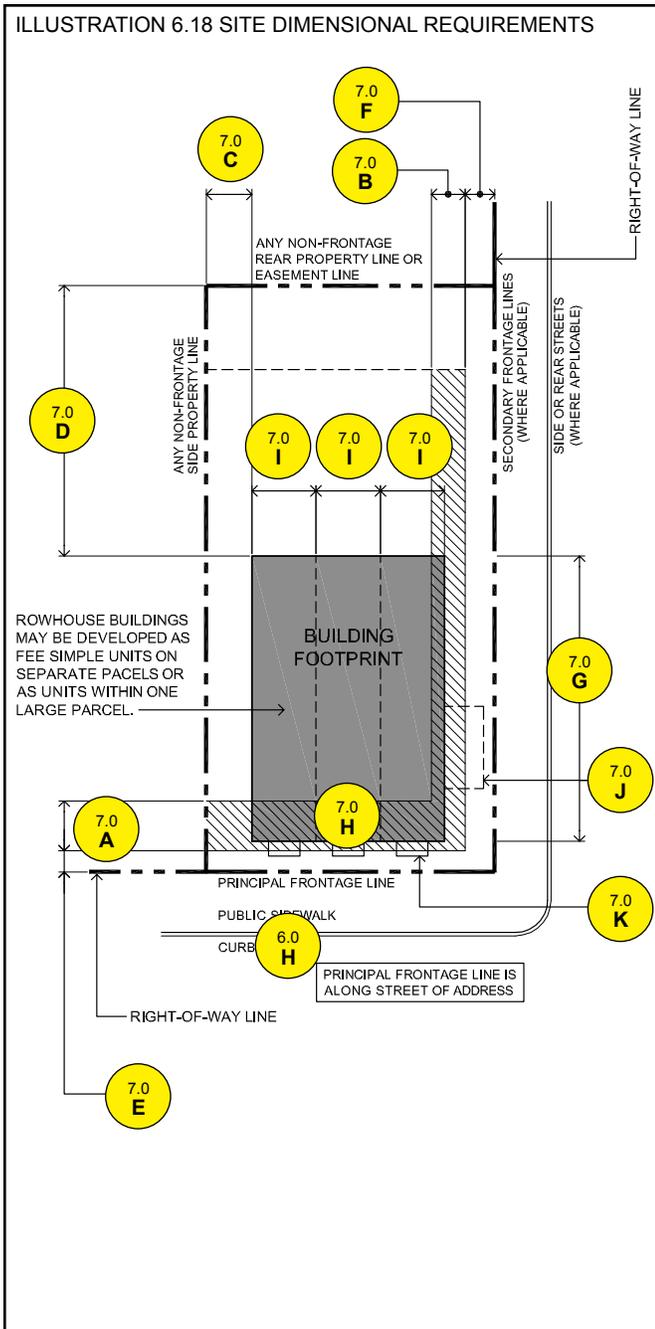
A lot located and designed to accommodate a principal building with common walls on both side lot lines and a private yard to the rear.

Accessory Buildings are allowed on Rowhouse Building Type lots.
Accessory Structures are allowed on Rowhouse Building Type lots.



BUILDING TYPE STANDARDS : 90-1611 ROWHOUSE BUILDING TYPE

ILLUSTRATION 6.18 SITE DIMENSIONAL REQUIREMENTS



5.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Rowhouse Building:
 1. Lightwell Private Frontage
 2. Stoop Private Frontage
 3. Porch Private Frontage

6.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

7.0 Site Dimensional Requirements

Refer to Illustration 6.18 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - Required build-to-zone from 5 to 15 feet from Principal Frontage Line (building shall be within build-to-zone).
- B. Side Setback (at Secondary Frontage):
 - Required build-to-zone from 3 to 10 feet from Secondary Frontage Line (building shall be within build-to-zone).
- C. Side Setback (at non-frontage locations):
 - 0 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 10 feet from Non-Frontage Rear Property Line.
- E. Front build-to-zone shall begin five (5) feet from the Principal Frontage Line.
- F. Side build-to-zone at Secondary Frontage shall begin three (3) feet from Secondary Frontage Line.
- G. Required thirty (30) foot minimum building depth.
- H. Building façade width along Principal Frontage shall be built to a minimum of 90% of the overall length of the Principal Frontage Line length.
- I. Individual unit widths shall be fourteen (14) feet to twenty-six (26) feet per unit.
- J. Balconies, awnings, canopies, cornices, eaves, and upper bays may extend into setbacks, beyond build-to-zones or into the public right-of-way per the requirements of the encroachment section in Division 3.
- K. Unenclosed porches, stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Division 3. These elements shall not project into the public right-of-way.
- L. Maximum site coverage for Rowhouse Buildings is 80%.

BUILDING TYPE STANDARDS : 90-1612 TWO-FAMILY HOUSE BUILDING TYPE

90-1612 Two-Family House Building Type

The following standards apply to the Two-Family House Building Type:

1.0 Access

- A. The main entrance to each dwelling unit shall be directly from and face a street, public path or civic space.

2.0 Building Height

Refer to Illustration 6.19 for building height graphic representation.

- A. Maximum building height permitted for Two-Family House Buildings is regulated by Context Area. Refer to Division 4.
- B. Two-Family House Buildings shall be a minimum of two (2) stories in height.
- C. First story shall be nine (9) feet minimum in height, measured from finished floor to finished ceiling.
- D. Upper stories shall be eight (8) feet minimum in height, measured from finished floor to finished ceiling.
- E. Optional attic space is not among the number of stories regulated by Context Area.
- F. First Floor Entry Door Height Above Grade. First floor at entry door height above grade is dependant on the Private Frontage used for this Building Type. Refer to Private Frontages permitted for this Building Type and Division 7.

3.0 Facade Composition Requirements

Refer to Illustrations 6.19 and 6.20 for building composition graphic reference.

- A. Building shall have a pitched roof.
- B. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the façade be windows between the finish floor line of the second story and eave.
- C. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- D. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.
- E. Building Materials: Refer to section 90-1614 for required building materials.

TWO-FAMILY BUILDING CHARACTER EXAMPLES:



TWO-FAMILY BUILDING DESCRIPTION:

A lot located and designed to accommodate a two-family building with front, rear and side yards.

Accessory Buildings are allowed on Two-Family House Building Type lots.

Accessory Structures are allowed on Two-Family House Building Type lots.

ILLUSTRATION 6.19 BUILDING HEIGHT

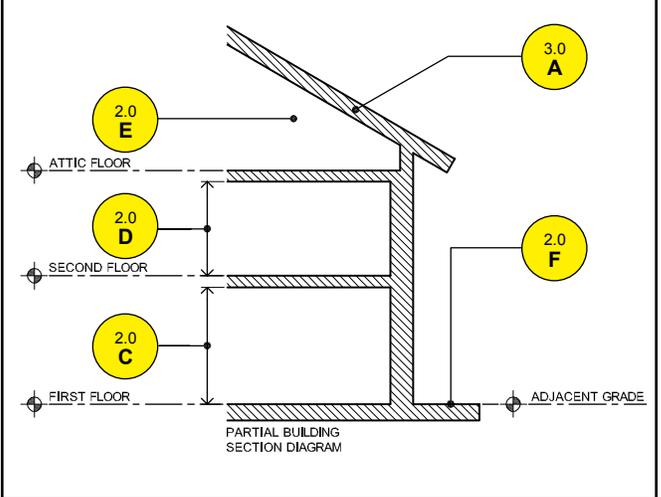
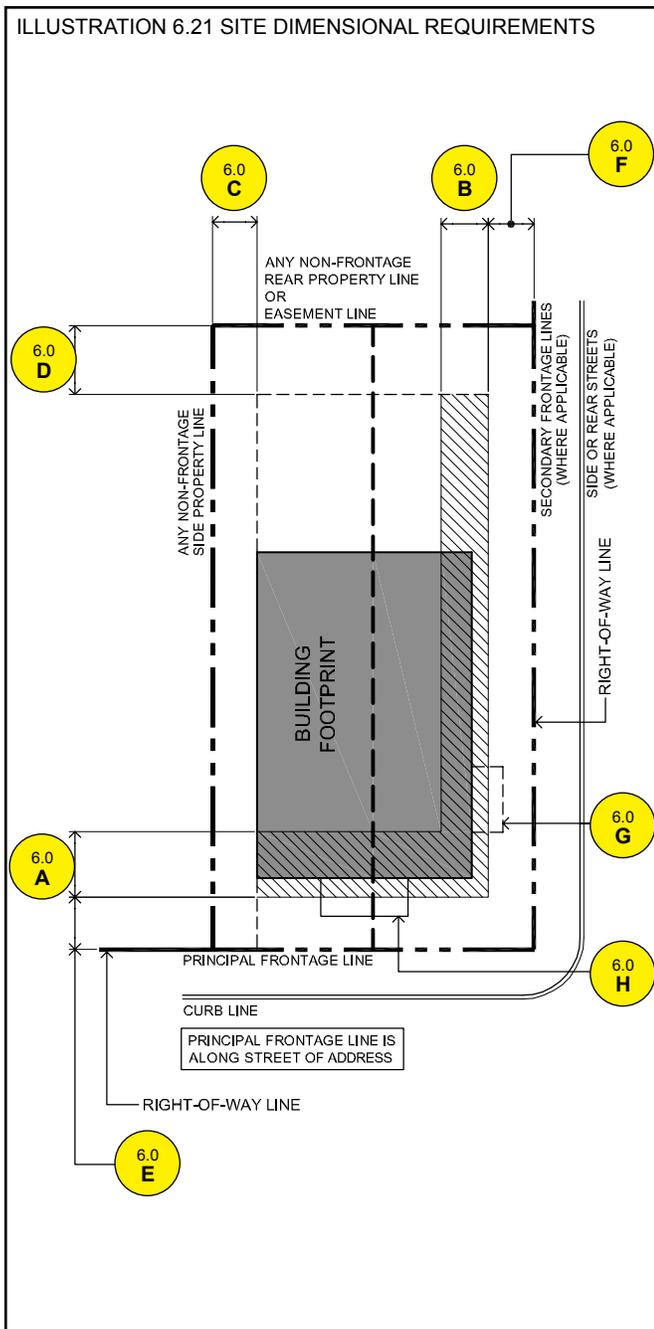


ILLUSTRATION 6.20 FACADE COMPOSITION



BUILDING TYPE STANDARDS : 90-1612 TWO-FAMILY HOUSE BUILDING TYPE

ILLUSTRATION 6.21 SITE DIMENSIONAL REQUIREMENTS



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Two-Family Building:
 1. Stoop Private Frontage
 2. Porch Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.21 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - Required build-to-zone from 15 to 35 feet from Principal Frontage Line (building shall be within build-to-zone).
- B. Side Setback (at Secondary Frontage):
 - Required build-to-zone from 10 to 20 feet from Secondary Frontage Line (building shall be within build-to-zone).
- C. Side Setback (at non-frontage locations):
 - 7 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 10 feet from Non-Frontage Rear Property Line.
- E. Front build-to-zone shall begin fifteen (15) feet from the Principal Frontage Line.
- F. Side build-to-zone at Secondary Frontage shall begin ten (10) feet from Secondary Frontage Line.
- G. Balconies, awnings, canopies, cornices, eaves, and upper bays may extend into setbacks, beyond build-to-zones or into the public right-of-way per the requirements of the encroachment section in Division 3.
- H. Unenclosed porches, stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Division 3. These elements shall not project into the public right-of-way.
- I. Maximum site coverage for Two-Family Buildings is 60%.

BUILDING TYPE STANDARDS : 90-1613 SINGLE-FAMILY HOUSE BUILDING TYPE

90-1613 Single-Family House Building Type

The following standards apply to the Single-Family House Building Type:

1.0 Access

- A. The main entrance to each dwelling unit shall be directly from and face a street, public path or civic space.

2.0 Building Height

Refer to Illustration 6.22 for building height graphic representation.

- A. Maximum building height permitted for Single-Family House Buildings is regulated by Context Area. Refer to Division 4.
- B. Two-Family House Buildings shall be a maximum of two (2) stories in height.
- C. First story shall be nine (9) feet minimum in height, measured from finished floor to finished ceiling.
- D. Upper stories shall be eight (8) feet minimum in height, measured from finished floor to finished ceiling.
- E. Optional attic space is not among the number of stories regulated by Context Area.
- F. First Floor Entry Door Height Above Grade. First floor at entry door height above grade is dependant on the Private Frontage used for this Building Type. Refer to Private Frontages permitted for this Building Type and Division 7.

3.0 Facade Composition Requirements

Refer to Illustrations 6.22 and 6.23 for building composition graphic reference.

- A. Building shall have a pitched roof.
- B. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the façade be windows between the finish floor line of the second story and eave.
- C. Transparency First Story: Refer to Private Frontage Types (Division 7) for transparency requirements of first story.
- D. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.
- E. Building Materials: Refer to section 90-1614 for required building materials.

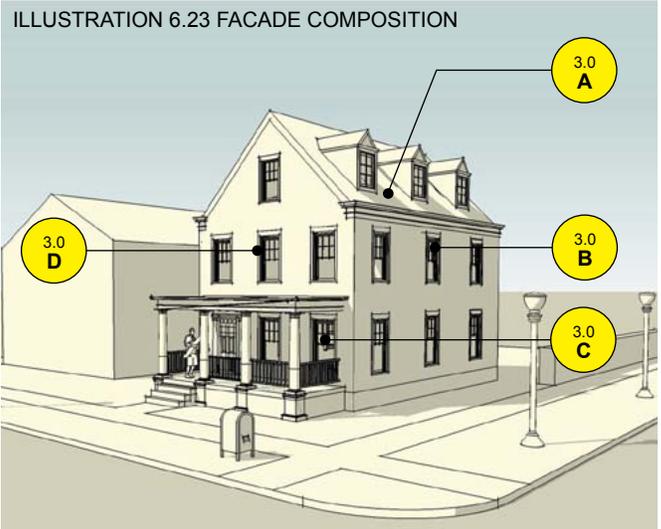
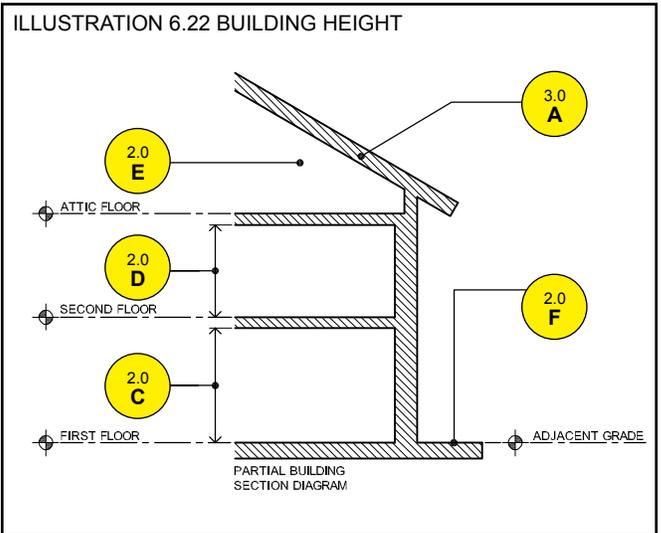
SINGLE-FAMILY HOUSE BUILDING CHARACTER EXAMPLES:



SINGLE-FAMILY HOUSE BUILDING DESCRIPTION:

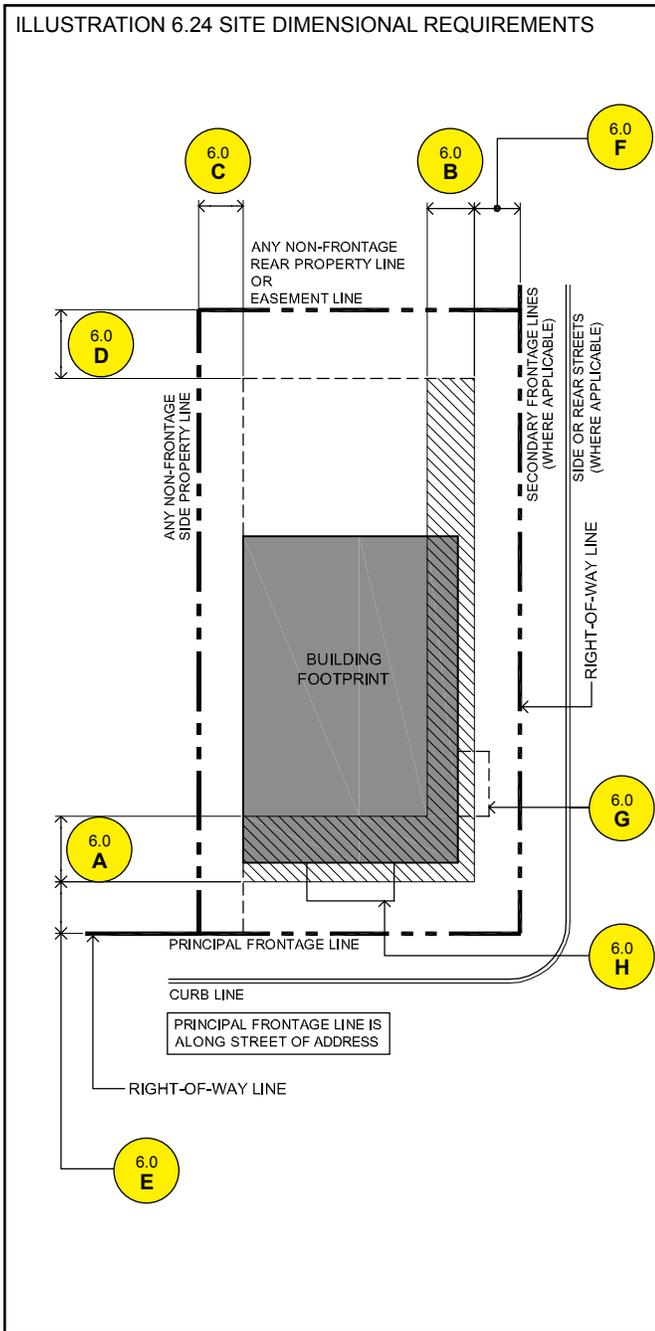
A lot located and designed to accommodate a single-family detached building with front, rear and side yards.

Accessory Buildings are allowed on Single-Family House Building Type lots.
Accessory Structures are allowed on Single-Family House Building lots.



BUILDING TYPE STANDARDS : 90-1613 SINGLE-FAMILY HOUSE BUILDING TYPE

ILLUSTRATION 6.24 SITE DIMENSIONAL REQUIREMENTS



4.0 Private Frontages

- A. Refer to Division 7 for requirements of Private Frontages.
- B. Private Frontage Types permitted for Single-Family Building:
 1. Stoop Private Frontage
 2. Porch Private Frontage

5.0 Use

Uses are regulated by Context Area. Refer to Division 4 for permitted uses in each Context Area.

6.0 Site Dimensional Requirements

Refer to Illustration 6.24 for graphic representation of the dimensional requirements regarding site and building placement.

- A. Front Setback (at Principal Frontage):
 - Required build-to-zone from 15 to 35 feet from Principal Frontage Line (building shall be within build-to-zone).
- B. Side Setback (at Secondary Frontage):
 - Required build-to-zone from 10 to 15 feet from Secondary Frontage Line (building shall be within build-to-zone).
- C. Side Setback (at non-frontage locations):
 - 7 feet from Non-Frontage Side Property Line.
- D. Rear Setback (at non-frontage locations):
 - 10 feet from Non-Frontage Rear Property Line.
- E. Front build-to-zone shall begin fifteen (15) feet from the Principal Frontage Line.
- F. Side build-to-zone at Secondary Frontage shall begin ten (10) feet from Secondary Frontage Line.
- G. Balconies, awnings, canopies, cornices, eaves, and upper bays may extend into setbacks, beyond build-to-zones or into the public right-of-way per the requirements of the encroachment section in Division 3.
- H. Unenclosed porches, stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Division 3. These elements shall not project into the public right-of-way.
- I. Maximum site coverage for Single-Family Buildings is 50%.

I. EXTERIOR BUILDING WALLS

1.0 Intent

- A. Exterior building walls shall reflect and complement the materials and construction techniques of West Michigan's regional architecture.
- B. Building materials on exterior walls shall express the construction techniques and structural constraints of traditional and long-lasting building materials.
- C. All building materials shall express their specific properties. For example, heavier more permanent materials (masonry) shall support lighter materials (wood).

2.0 Exterior Wall Materials

The following materials are permitted on exterior walls:

- A. Brick and masonry.
- B. Stucco
 - 1. The use of stucco is not permitted on the ground floor of the Mixed Use Building Type.
 - 2. The use of stucco is not permitted on the Zero Lot Line Retail Building Type.
 - 3. The use of stucco is not permitted on the Retail Building Type.
- C. Stone (or synthetic equivalent).
- D. Pre-cast masonry (for trim and cornice elements only).
- E. Polyurethane and Cellular PVC shapes (for cornice element only).
- F. Metal (for beams, lintels, trim elements and ornamentation only).
- G. Metal panels, insulated metal panels and/or rain screens (for upper levels only).
- H. Split-faced block (for piers, foundation walls, and chimneys only).
- I. Wood lap siding.
- J. Cement board siding (Hardie-Plank or equivalent).
- K. Other materials as approved by Planning Director or Planning Commission.

3.0 Exterior Wall Configurations and Techniques

The following configurations and construction techniques shall be utilized when assembling exterior walls:

- A. Wall openings shall not span vertically more than one story.
- B. Wall openings shall correspond to interior space and not span horizontally across the building.
- C. Wall materials shall be consistent horizontally (i.e. – joints between different materials shall be horizontal and continue around corners) except at chimneys and piers.
- D. Cement board siding shall have a smooth finish (no faux wood grain).
- E. All trim on wood- and cement board-sided walls (including window trim, door trim, horizontal expression lines and corner trim) shall be similar to the material of the siding.

II. ROOFS AND PARAPETS

1.0 Intent

- A. Roofs and parapets shall demonstrate recognition of the climate by utilizing appropriate pitch, drainage and materials.
- B. Sustainable practices, such as green roof technology, are strongly encouraged to the maximum extent possible.

2.0 Roof Materials for Pitched or Sloped Roofs

The following materials are permitted for pitched roofs:

- A. Slate (or equivalent synthetic).
- B. Metal (standing seam or similar).
- C. Dimensional asphalt shingles.
- D. Other materials as approved by Planning Director or Planning Commission.

3.0 Roof Materials for Flat Roofs

The following materials are permitted for flat roofs:

- A. Any material that is permitted by the Building Code.

4.0 Materials for Cornices

The following materials are permitted for parapets and cornices:

- A. Any material that is permitted in the Exterior Building Wall Section.
- B. Material shall be consistent and compatible with the material of the exterior wall.

5.0 Pitched Roof Configurations and Techniques

The following configurations and construction techniques shall be utilized when assembling pitched roofs:

- A. Simple hip and gable roofs shall be symmetrically pitched between 4:12 and 12:12.
- B. Shed roofs attached to the main structure shall be pitched between 4:12 and 7:12.
- C. Eaves shall overhang a minimum of twelve (12) inches.
- D. Rakes (gable end) shall overhang a minimum of eight (8) inches.
- E. Eaves on accessory buildings, dormers and other similar structures shall overhang a minimum of eight (8) inches.
- F. Rakes (gable end) on accessory buildings, dormers and other similar structures shall overhang a minimum of six (6) inches.
- G. Open eaves and simple traditional soffits and fascia are encouraged.

BUILDING TYPE STANDARDS : 90-1614 MATERIALS AND TECHNIQUE

III. WINDOWS AND DOORS

1.0 Window Materials

- A. Window frames shall be anodized aluminum, wood, clad wood, vinyl, or steel.
- B. Glass in windows shall be clear. Refer to definitions in Division 11 for requirements of clear glass.
- C. Window screens shall be black or gray.
- D. Screen frames shall match window frame material or be dark anodized.

2.0 Door Materials

- A. Door frames shall be anodized aluminum, wood, clad wood, or steel.
- B. Doors shall be made of wood, clad wood, fiberglass, steel, or other materials as approved by Planning Director or Planning Commission.
- C. Any glass that is provided in doors as part of minimum transparency requirements shall be clear. Refer to definitions in Division 11 for requirements of clear glass.

3.0 Window Configurations and Techniques

- A. Windows may be ganged horizontally (maximum 5 per group) if each grouping is separated by a mullion, column, pier or wall section.
- B. Windows shall be no closer than thirty (30) inches to a building corner, excluding bay windows.
- C. Windows shall be square or vertically proportioned.
- D. Exterior shutters, if applied, shall be sized and mounted appropriately for the window (i.e. each shutter shall be one-half the window width).

4.0 Door Configurations and Techniques

- A. Double height entries (those that span more than one story) are not allowed.
- B. Roll down security gates and doors are prohibited.

i	1	2	3	4	5	6
Introduction	Title, Purpose & Scope	Applicability & Procedures	General Provisions	Context Areas & Use	Subdivision & Access	Building Types
7	8	9	10	11	City of Wyoming Zoning Ordinance	
Private Frontages	Thoroughfare Guidelines	Off-Street Parking	Sign Standards	FBC Definitions		

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i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
7	Private Frontages	8	Thoroughfare Guidelines	9	Off-Street Parking	10	Sign Standards	11	FBC Definitions	City of Wyoming Zoning Ordinance			

90-1700 PURPOSE

Division 7 identifies specific Private Frontage Types that are allowed in conjunction with Building Types and provides design standards for each type, to ensure that building entrances, form, and character are consistent with the [City of Wyoming Land Use Plan](#).

90-1701 APPLICABILITY

Each proposed building shall be designed to incorporate a Private Frontage Type in compliance with the standards of this Division, except for civic buildings which are not required to meet these standards.

90-1702 FRONTAGE TYPES BY BUILDING TYPE

Property may be developed only with the Frontage Types allowed by this Division in conjunction with the applicable Building Type.

- A. Refer to Table 90-1702 on this page to determine the specific Frontage Types that are permitted for each of the Building Types.

90-1703 CONTENTS OF THIS DIVISION

The following Building Types are specified in this Division:

- A. Storefront Private Frontage Type
- B. Balcony Private Frontage Type
- C. Shopfront Private Frontage Type
- D. Drive-through Private Frontage Type
- E. At-Grade Private Frontage Type
- F. Lightwell Private Frontage Type
- G. Stoop Private Frontage Type
- H. Porch Private Frontage Type

CHANGES ON THIS PAGE

TABLE 90-1702 PRIVATE FRONTAGES PERMITTED BY BUILDING TYPE

Private Frontage Types	Mixed Use Building	Zero Lot Line Retail Building	Retail Building	Live / Work Building	Apartment	Rowhouse	Two-Family House	Single-Family House
Storefront Private Frontage								
Balcony Private Frontage								
Shopfront Private Frontage								
Drive-through Private Frontage								
At-Grade Private Frontage								
Lightwell Private Frontage								
Stoop Private Frontage								
Porch Private Frontage								

White cells represent Building Types where Private Frontage is permitted.

Darkented cells represent Building Types where Private Frontage is NOT permitted.

Refer to individual Private Frontage Standards to review specific requirements for application to Building Type.

PRIVATE FRONTAGE TYPE STANDARDS

90-1704 HOW TO USE THIS DIVISION

Refer to sample pages on this sheet for references of how to use each Private Frontage Type Standard. These pages are representative of the layout for each Private Frontage Type contained in this Division.

- A. Private Frontage Character: This box serves as an introduction to the Private Frontage Type, including precedent examples and a general Private Frontage Type description.
- B. Access: Specifies required frontage access and door location requirements.
- C. Building Type: Specifies the Building Types that the Private Frontage Type is permitted to be applied to. Private Frontages define the architecture and design components for the entrance(s) to the building and the area between the façade and the Frontage Line(s). Refer to Division 6 for Building Types.
- D. Private Frontage Location Requirements: Specifies the location requirements for the Private Frontage depending on the Building Type. This section also specifies the requirements of the ground area between the Principal Frontage Line and the building facade, relative to distance from the Principal Frontage Line.
- E. Private Frontage Landscape Requirements: Specifies the landscape requirements for the Private Frontage.
- F. Private Frontage Composition Requirements: Specifies the requirements of the Private Frontage, including transparency, composition, and required elements.
- G. Note: The Drive-Through Frontage (90-1709) is identical to the Storefront Frontage, except that it has provisions for an automobile drive-through at non-frontage sides and the rear of the site. The pages for the Drive-Through Frontage include one additional graphic that depicts the location of where this drive-through is permitted.

ARTICLE 11 DIVISION 7
PRIVATE FRONTAGE TYPE STANDARDS - 90-1706 STOREFRONT FRONTAGE TYPE

90-1704 B
90-1704 C
90-1704 D
90-1704 E

90-1704 A

90-1704 D

90-1704 E

City of Wyoming
FORM BASED CODE
Division 7 : Page 4

ARTICLE 11 DIVISION 7
PRIVATE FRONTAGE TYPE STANDARDS - 90-1706 STOREFRONT FRONTAGE TYPE

90-1704 F

90-1704 F

City of Wyoming
FORM BASED CODE
ARTICLE 11
Division 7 : Page 5

90-1705 STANDARDS FOR ALL PRIVATE FRONTAGE TYPES

The following standards apply to all Private Frontage Types:

- A. **Principal Frontage:** Principal frontages of buildings represent the building front and are located at the public right-of-way lines along the street, public path or civic space of address for the building.
- B. **Secondary Frontage:** Secondary Frontages of buildings represent the building sides that are located at the public right-of-way lines along all streets, public paths or civic spaces that are not the street of address for the building. The side setback for secondary frontages shall apply to all situations where secondary frontages occur at more than one side of a building (due to a parcel that is bound on more than two sides by right-of-way lines).
- C. **Principal Frontage Transparency Requirements at First Story:** Each Building Type's first story transparency at the Principal Frontage Line is per the Private Frontage Requirements. Secondary Frontages are required to use one (1) of the following standards:
 - 1. Transparency that is the same as what is required by the upper stories for the Building Type.
 - 2. Transparency that is the same as the Private Frontage that has been applied to the Principal Frontage.
- D. **Setback Measurements:** For all Principal and Secondary Frontage locations along the required 28th Street greenbelt, the required build-to-lines, build-to-zones and setback measurements shall be taken from the back edge (the edge facing the private side of the right-of-way) of the greenbelt. Refer to Division 9 for greenbelt measurement and design.
- E. **Private Frontages:** Private Frontage Types define architecture and design components for the entrance(s) to the building and the area between the façade and the Frontage Line. Each Building Type identifies the appropriate Private Frontage Type(s). The use of one of the Private Frontage Types identified is required. Refer to Division 6 for Building Types.
- F. **Sign Standards:** Refer to Division 10 for Sign Standards.

i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
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90-1706 Storefront Private Frontage Type

The following standards apply to the Storefront Private Frontage Type:

1.0 Access

- A. Storefront Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The Storefront Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Mixed Use Building Type
- B. Zero Lot Line Retail Building Type
- C. Retail Building Type
- D. Live / Work Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.01 for graphic representation of the location requirements for Private Frontage placement.

- A. The Storefront Frontage is required to be placed at a build-to-line or within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall have one of the following treatments depending on distance from the Principal Frontage Line.
 - 1. Distance between building façade and Principal Frontage Line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building façade and Principal Frontage Line is greater than ten (10) feet and front parking is NOT present: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 - 3. Distance between building façade and Principal Frontage Line is greater than ten (10) feet and front parking is present: Ground area shall be paved to the edge of the parking.
 - 4. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
- C. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Storefront Frontage (when required) shall be ground cover.

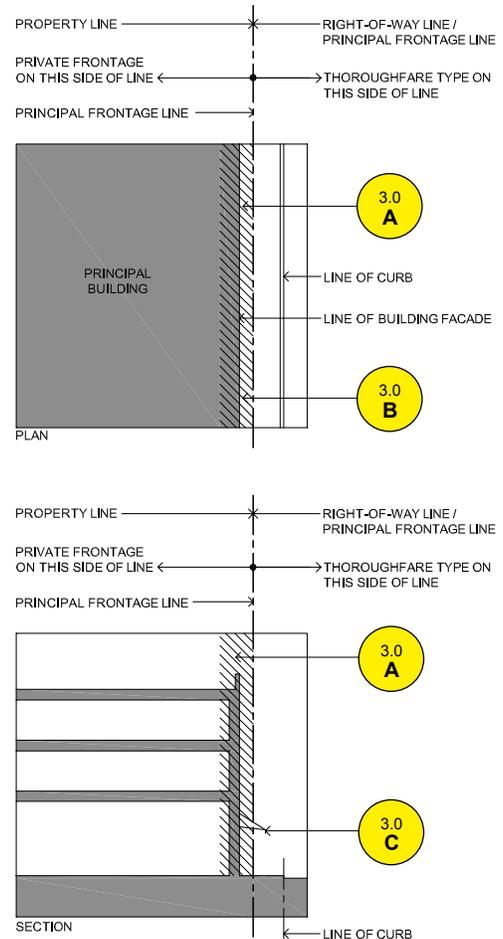
STOREFRONT FRONTAGE CHARACTER EXAMPLES:



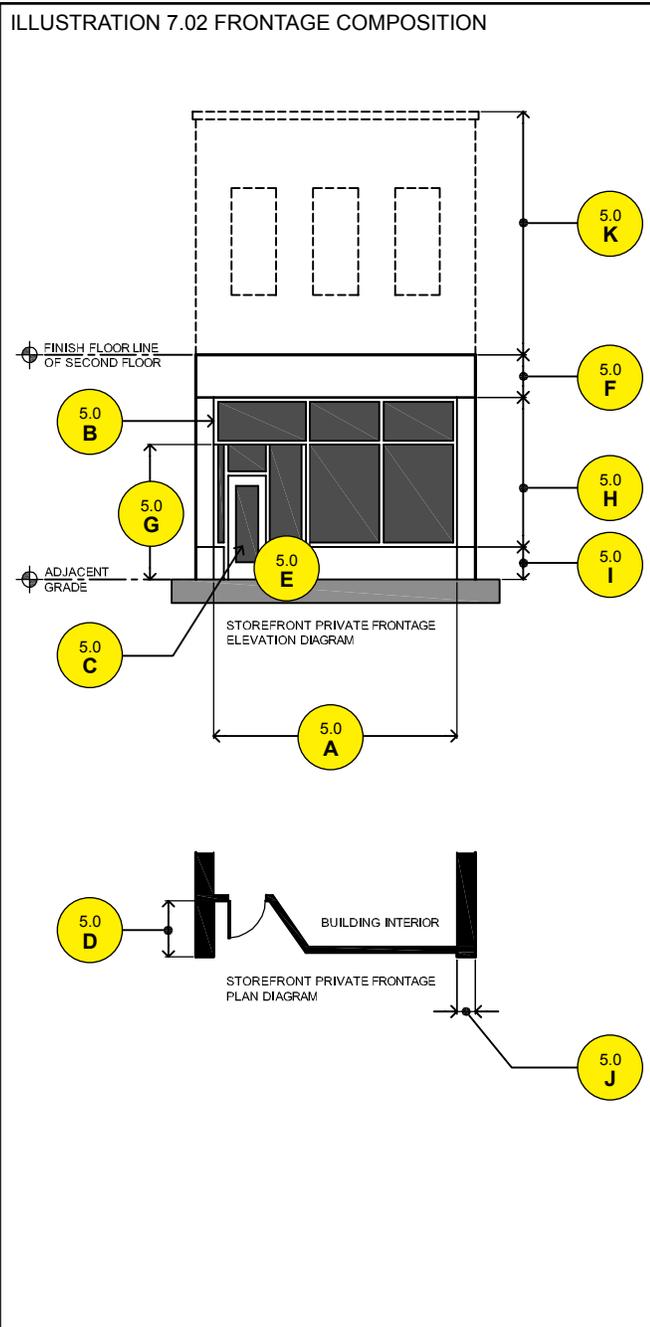
STOREFRONT FRONTAGE DESCRIPTION:

The storefront is a frontage type placed along the Principal (and sometimes Secondary) Frontage line(s). It is typically associated with retail and mixed use buildings. The storefront shall be designed in a way that promotes an attractive, convenient shopping experience. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

ILLUSTRATION 7.01 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1706 STOREFRONT FRONTAGE TYPE



5.0 Private Frontage Composition Requirements

Refer to Illustration 7.02 for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the first story, for the full height of the first story.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. Entry door is required to be recessed from the Principal Frontage Line from three (3) feet to eight (8) foot. Storefront shall extend from Principal Frontage Line to the recessed entry door.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band or horizontal expression band above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the building.
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront Private Frontages shall have 60% to 80% of the façade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of this required transparency.
- I. Required 18" to 30" storefront base.
- J. Required 18" to 32" pilaster or wall surface spaced as indicated by Building Type.
- K. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- L. The Storefront Private Frontage may have an angled corner entry as allowed by the specific Building Type. The angled corner entry shall meet the transparency requirements of the Storefront Private Frontage.
- M. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1707 Balcony Private Frontage Type

The following standards apply to the Balcony Private Frontage Type:

1.0 Access

- A. Balcony Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The Balcony Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Mixed Use Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.03 for graphic representation of the location requirements for Private Frontage placement.

- A. The Balcony Frontage is required to be placed at a build-to-line or within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall have one of the following treatments depending on distance from the Principal Frontage Line.
 - 1. Distance between building façade and Principal Frontage Line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building façade and Principal Frontage Line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 - 3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
- C. Required recessed balcony located within the mass of the building.
- D. Face of balcony shall align with façade of building.
- E. Storefront frontage is required at first story.
- F. Building roof and / or parapet wall shall extend over balcony and align with face of lower floor(s).
- G. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Balcony Frontage (when required) shall be ground cover.

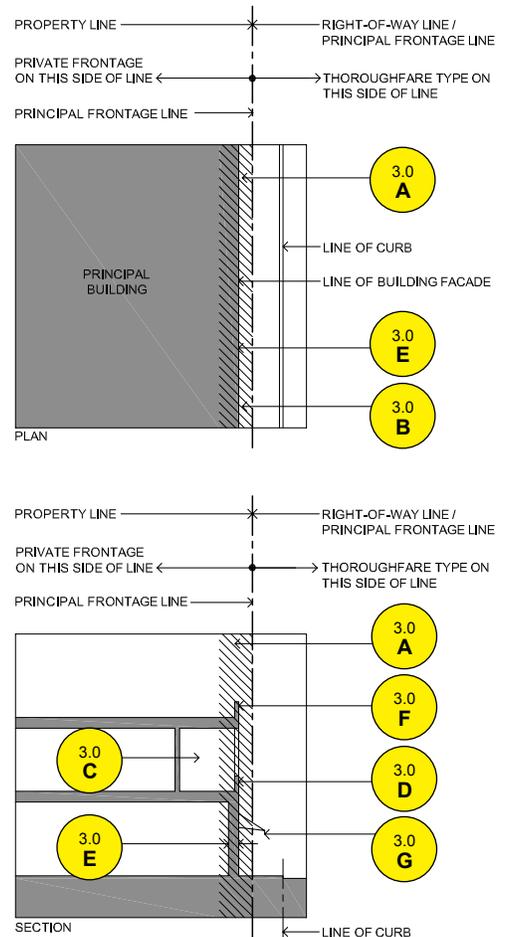
BALCONY FRONTAGE CHARACTER EXAMPLES:



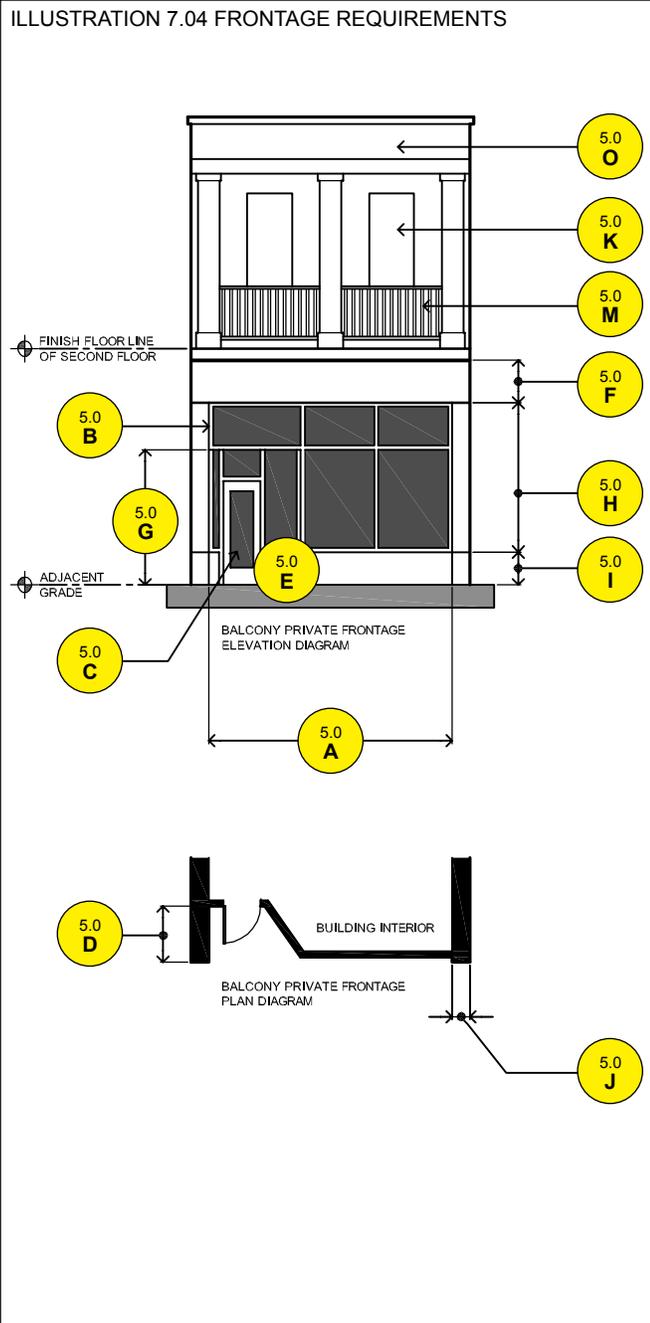
BALCONY FRONTAGE DESCRIPTION:

The balcony is a frontage type placed along the Principal Frontage line. It is typically associated with mixed use buildings. The frontage combines an upper balcony that is recessed into the building mass with a storefront at the first story. The storefront portion of this frontage shall be designed in a way that promotes an attractive, convenient shopping experience.

ILLUSTRATION 7.03 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1707 BALCONY FRONTAGE TYPE



- 5.0 Private Frontage Composition Requirements**
Refer to Illustration 7.04 for frontage composition graphic reference.
- A. Storefronts shall extend across eighty (80) percent of the first story, for the full height of the first story.
 - B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
 - C. Required entry door shall have fifty (50) percent minimum transparency.
 - D. Entry door is required to be recessed from the Principal Frontage Line from three (3) feet to eight (8) foot. Storefront shall extend from Principal Frontage Line to the recessed entry door.
 - E. Entry door is required to be at adjacent sidewalk grade.
 - F. Required 30" to 42" sign band or horizontal expression band above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the building.
 - G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
 - H. Transparency: Balcony Private Frontages shall have 60% to 80% of the façade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of this required transparency.
 - I. Required 18" to 30" storefront base.
 - J. Required 18" to 32" pilaster or wall surface spaced as indicated by Building Type.
 - K. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
 - L. The Storefront Private Frontage may have an angled corner entry as allowed by the specific Building Type. The angled corner entry shall meet the transparency requirements of the Storefront Private Frontage.
 - M. Required recessed balcony located within the mass of the building.
 - N. Required equally spaced columns at balcony.
 - O. Building roof and / or parapet wall shall extend over balcony and align with facade of building.
 - P. Required guardrail or knee wall shall align with facade of building.
 - Q. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1708 Shopfront Private Frontage Type

The following standards apply to the Shopfront Private Frontage Type:

1.0 Access

- A. Shopfront Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The Storefront Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Retail Building Type.
- B. Live / Work Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.05 for graphic representation of the location requirements for Private Frontage placement.

- A. The Shopfront Frontage is required to be placed within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall have one of the following treatments depending on distance from the Principal Frontage Line.
 - 1. Distance between building façade and Principal Frontage Line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building façade and Principal Frontage Line is greater than ten (10) feet and front parking is NOT present: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 - 3. Distance between building façade and Principal Frontage Line is greater than ten (10) feet and front parking is present: Ground area shall be paved to the edge of the parking.
 - 4. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.

- C. Shopfront Frontage is required to have either a terrace or an at grade entry door.
- D. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- E. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Shopfront Frontage (when required) shall be ground cover.

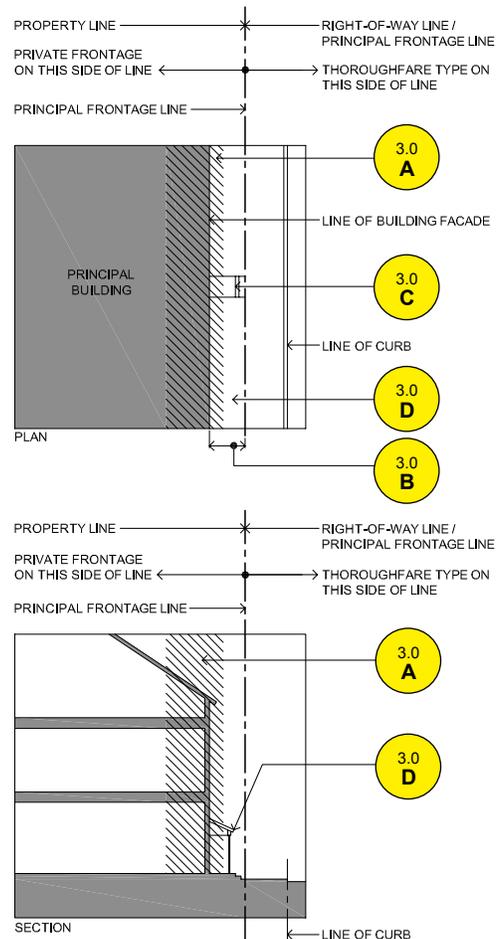
STOREFRONT FRONTAGE CHARACTER EXAMPLES:



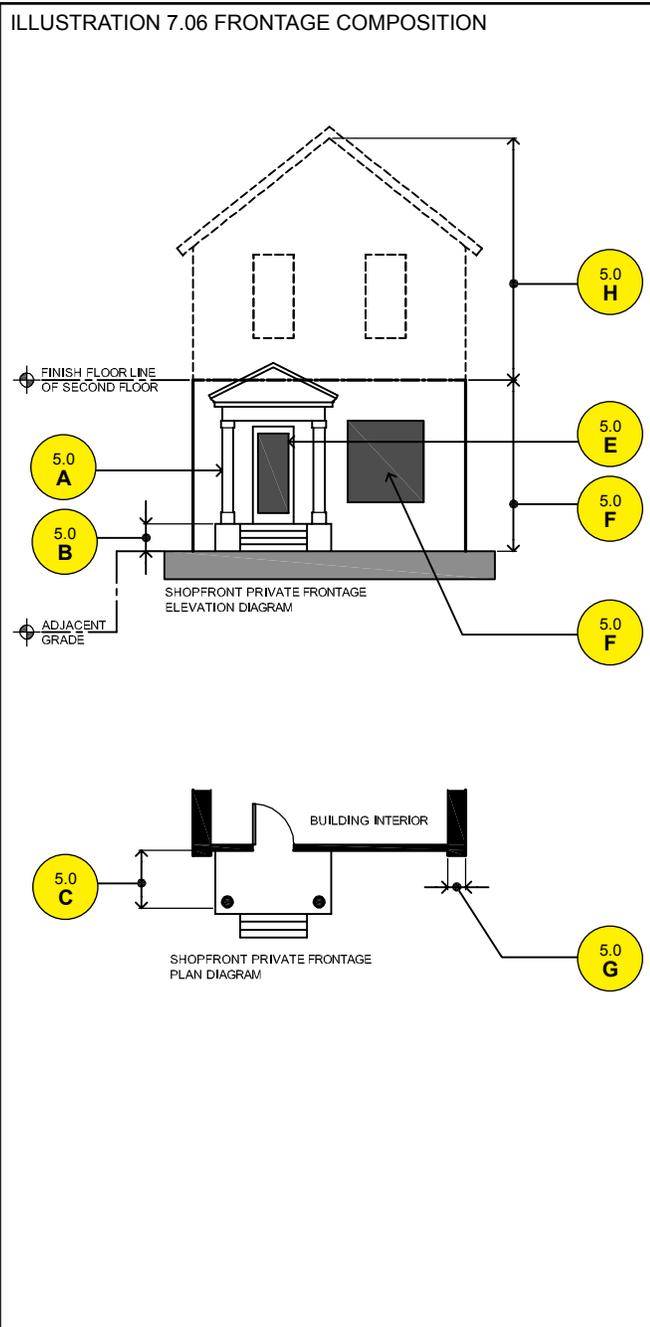
SHOPFRONT FRONTAGE DESCRIPTION:

The shopfront is a frontage type placed along the Principal Frontage line in a build-to-zone. It is typically associated with retail uses at the first story in Context Areas that have a less intense (more residentially scaled) retail environment. The shopfront shall be designed in a way that promotes an attractive, convenient shopping experience. Storefronts may be elevated above the adjacent grade.

ILLUSTRATION 7.05 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1708 SHOPFRONT FRONTAGE TYPE



5.0 Private Frontage Composition Requirements

Refer to Illustration 7.06 for frontage composition graphic reference.

- A. Shopfront Frontage is required to have either a terrace (covered with roof or without roof) or an at grade entry door. (Covered terrace depicted in graphic).
- B. Terrace (if used) shall be twelve (12) inches minimum above adjacent grade.
- C. Depth of the landing at the terrace (if used) shall be a minimum of four (4) feet.
- D. At grade entry door (if used) is required to be at adjacent sidewalk grade.
- E. Required entry door shall have thirty (30) percent minimum transparency.
- F. Transparency: Shopfront Private Frontages shall have 35% to 60% of the façade be windows between the adjacent grade and finish floor line of the second story. Entry door transparency shall be included as part of this required transparency.
- G. Required 18" to 32" pilaster or wall surface spaced as indicated by Building Type.
- H. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- I. The Shopfront Private Frontage may have an angled corner entry as allowed by the specific Building Type. The angled corner entry shall meet the transparency requirements of the Shopfront Private Frontage.
- J. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1709 Drive-Through Private Frontage Type

The following standards apply to the Drive-Through Private Frontage Type:

1.0 Access

- A. Drive-Through Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The Drive-Through Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Mixed Use Building Type
- B. Zero Lot Line Retail Building Type
- C. Retail Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.07 for graphic representation of the location requirements for Private Frontage placement.

- A. The Drive-Through Frontage is required to be placed at a build-to-line or within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall have one of the following treatments depending on distance from the Principal Frontage Line.
 - 1. Distance between building façade and Principal Frontage Line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building façade and Principal Frontage Line is greater than ten (10) feet and front parking is NOT present: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 - 3. Distance between building façade and Principal Frontage Line is greater than ten (10) feet and front parking is present: Ground area shall be paved to the edge of the parking.
 - 4. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and / or Planning Commission.
- C. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Drive-Through Frontage (when required) shall be ground cover.

5.0 Drive-Through Location Requirements

Refer to Illustration 7.08 for frontage composition graphic reference.

- A. Rear Drive-through Zone: Drive-through is permitted to be placed along non-frontage rear property lines (or easement lines) in the following Context Areas:
 - 1. Corridor Center (CC)
 - 2. Corridor Urban (CU)
 - 3. Corridor General (CG)
 - 4. Corridor Sub-Urban (CS)
 - 5. Corridor Edge (CE)

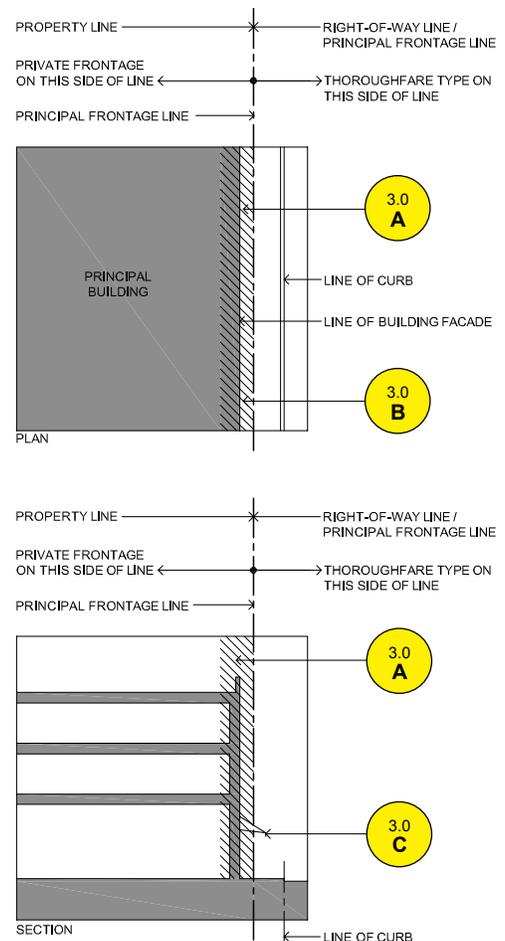
DRIVE-THROUGH FRONTAGE CHARACTER EXAMPLES:



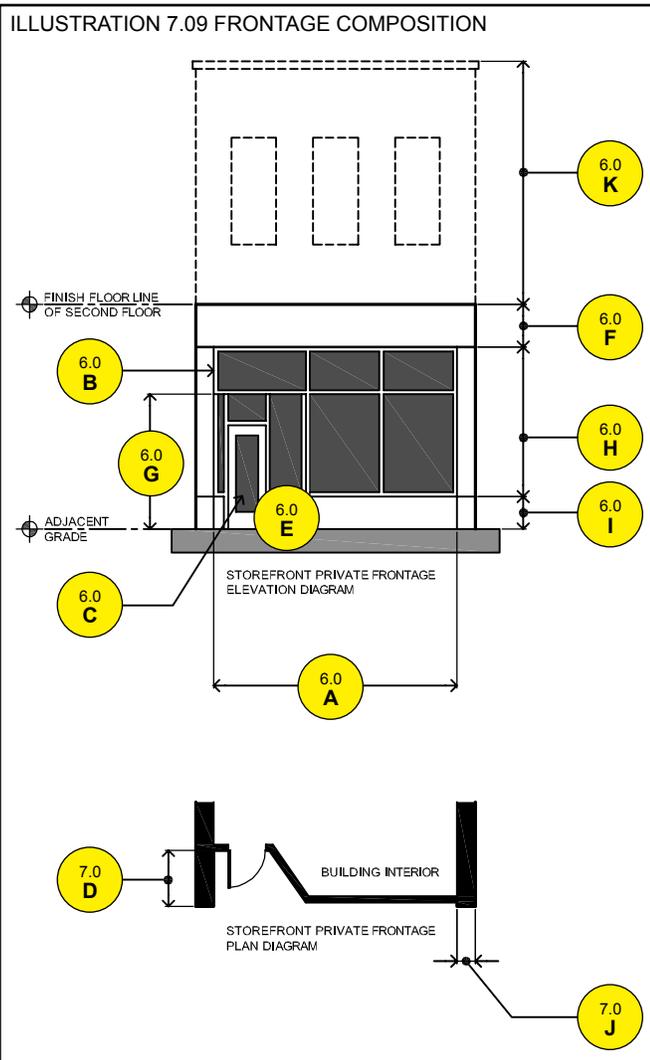
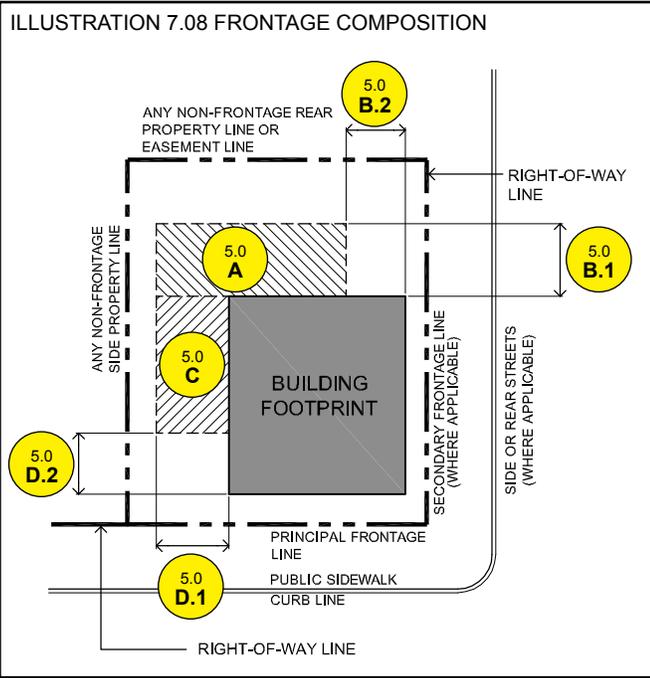
DRIVE-THROUGH FRONTAGE DESCRIPTION:

The drive-through is a frontage that is identical to the storefront frontage type, however it includes an automobile drive-through at the rear or non-frontage side yards. The drive-through may include a covered structure at the service window location. The frontage is typically associated with retail and mixed use buildings and includes a storefront that shall be designed in a way that promotes an attractive, convenient shopping experience. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

ILLUSTRATION 7.07 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1709 DRIVE-THROUGH FRONTAGE TYPE



- B. Location of Rear Drive-through Zone: Rear Drive-through zone location shall be located as follows:
 1. 0 to 45 feet, measured from rear building wall.
 2. 15 feet minimum, measured from secondary frontage building wall.
- C. Non-frontage Side Drive-through Zone: Drive-through is permitted to be placed along non-frontage side property lines in the following Context Areas:
 1. Corridor General (CG)
 2. Corridor Sub-Urban (CS)
 3. Corridor Edge (CE)
- D. Location of Non-frontage Side Drive-through Zone: Non-frontage Side Drive-through zone location shall be located as follows:
 1. 0 to 45 feet, measured from non-frontage side building wall.
 2. 15 feet minimum, measured from principal frontage building wall.
- E. Drive-through location shall comply with the non-frontage side and rear setbacks of the Building Type that it is applied to. (Refer to Division 6)

6.0 Private Frontage Composition Requirements

Refer to Illustration 7.09 for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the first story, for the full height of the first story.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have 50% minimum transparency.
- D. Entry door is required to be recessed from the Principal Frontage Line from three (3) feet to eight (8) foot. Storefront shall extend from Principal Frontage Line to the recessed entry door.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band / horizontal expression band above storefront window / transom. Sign band or horizontal expression line shall extend the entire width of the building.
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront Private Frontages shall have 60% to 80% of the façade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of this required transparency.
- I. Required 18" to 30" storefront base.
- J. Required 18" to 32" pilaster or wall surface spaced as indicated by Building Type.
- K. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- L. The Storefront Private Frontage may have an angled corner entry as allowed by the specific Building Type. The angled corner entry shall meet the transparency requirements of the Storefront Private Frontage.
- M. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1710 At-Grade Private Frontage Type

The following standards apply to the At-Grade Private Frontage Type:

1.0 Access

- A. At-Grade Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The At-Grade Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Live / Work Building Type
- B. Apartment Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.10 for graphic representation of the location requirements for Private Frontage placement.

- A. The At-Grade Frontage is required to be placed within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall have one of the following treatments depending on distance from the Principal Frontage Line.
 - 1. Distance between building façade and Principal Frontage Line is five (5) to ten (10) feet: Ground area may be paved to match public sidewalk or landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall be five (5) feet wide minimum.
 - 2. Distance between building façade and Principal Frontage Line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall be five (5) feet wide minimum.
- C. At-Grade Frontage is required to have either a covered entry door (depicted in graphic) or recessed entry door. Covered entry door shall have a roof that is supported by brackets, cables, columns, or cantilevered. Covered entry door and recessed entry door options may be used together depending on building type and site placement of building.
- D. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- E. Wells may extend into required setbacks per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the At-Grade Frontage (when required) shall be grass ground cover.

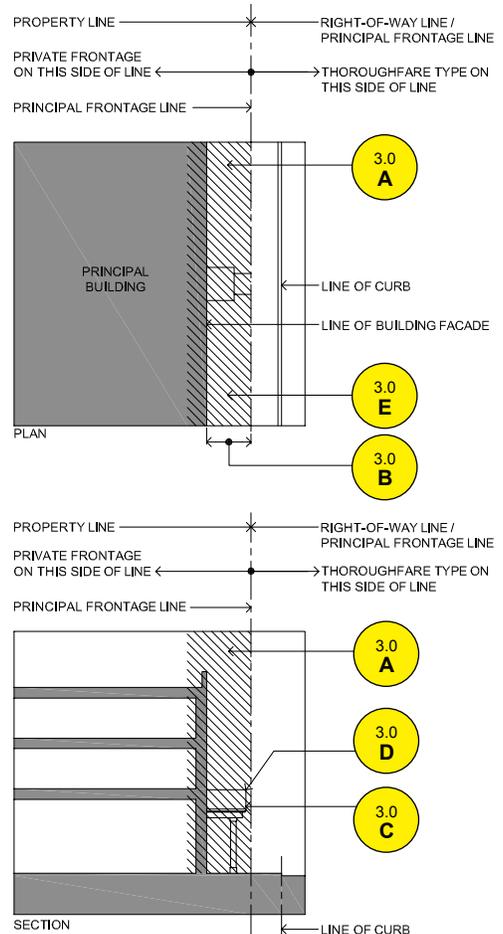
AT-GRADE FRONTAGE CHARACTER EXAMPLES:



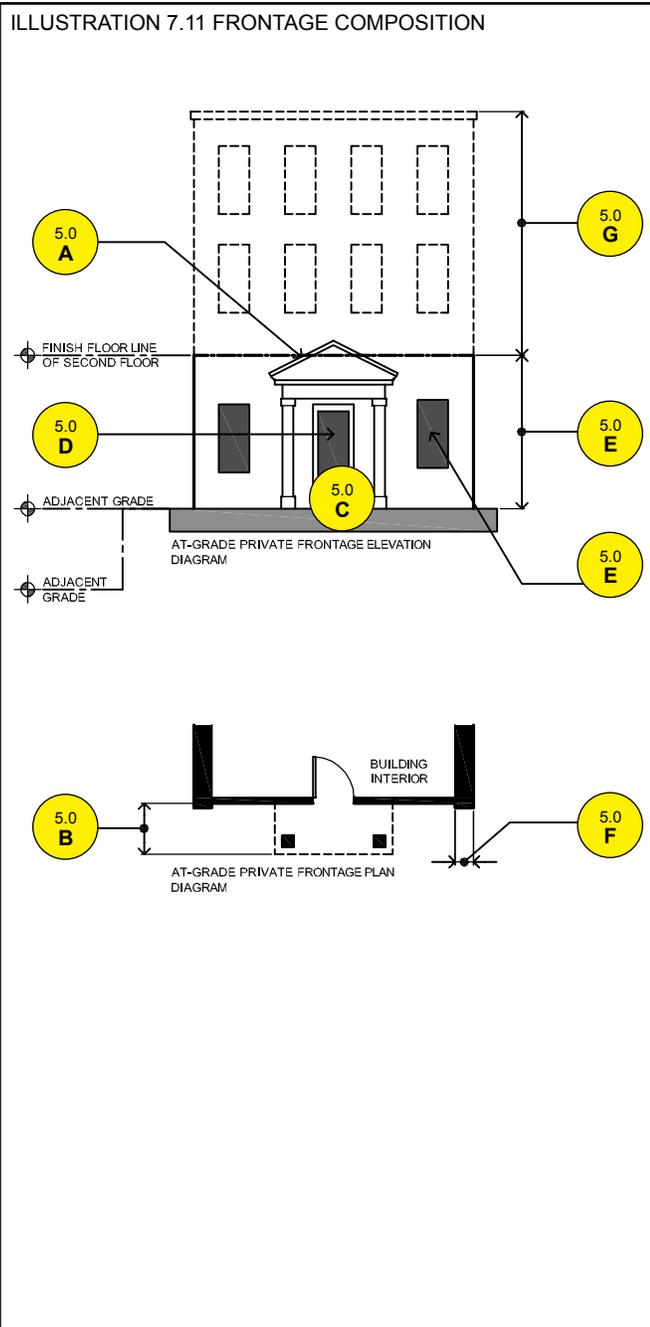
AT-GRADE FRONTAGE DESCRIPTION:

The at-grade is a frontage type placed along the Principal Frontage line in a build-to-zone. It provides an at grade (zero step) entry into residentially scaled buildings and may be associated with lobby buildings (such as apartments).

ILLUSTRATION 7.10 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1710 AT-GRADE FRONTAGE TYPE



5.0 Private Frontage Composition Requirements

Refer to Illustration 7.11 for frontage composition graphic reference.

- A. At-Grade Frontage is required to have either a covered entry door (as depicted on graphic) or recessed entry door. Covered entry door shall have a roof that is supported by brackets, cables, columns, or cantilevered. Covered entry door and recessed entry door options may be used together depending on building type and site placement of building.
- B. Depth of covered entry (if used) shall be four (4) feet minimum.
- C. Entry door for At-Grade Frontages is required to be at adjacent sidewalk grade.
- D. Required entry door shall have fifty (50) percent minimum transparency.
- E. Transparency: At-Grade Private Frontages shall have 10% to 30% of the façade be windows between the adjacent grade and finish floor line of the second story. Entry door transparency shall be included as part of this required transparency.
- F. Required 18" to 32" pilaster or wall surface spaced as indicated by Building Type.
- G. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- H. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1711 Lightwell Private Frontage Type

The following standards apply to the Lightwell Private Frontage Type:

1.0 Access

- A. Lightwell Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The Lightwell Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Live / Work Building Type
- B. Rowhouse Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.12 for graphic representation of the location requirements for Private Frontage placement.

- A. The Lightwell Frontage is required to be placed within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall have one of the following treatments depending on distance from the Principal Frontage Line.
 - 1. Distance between building façade and Principal Frontage Line is five (5) to ten (10) feet: Ground area may be paved to match public sidewalk or landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall be five (5) feet wide minimum.
 - 2. Distance between building façade and Principal Frontage Line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall be five (5) feet wide minimum.
- C. Lightwell Frontage may have a covered entry door. Covered entry door shall have a roof that is supported by brackets, cables, or cantilevered.
- D. Required exterior stair from adjacent grade (sidewalk) up to terrace.
- E. Required exterior stair from adjacent grade (sidewalk) down to lightwell.
- F. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- G. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Lightwell Frontage (when required) shall be ground cover.

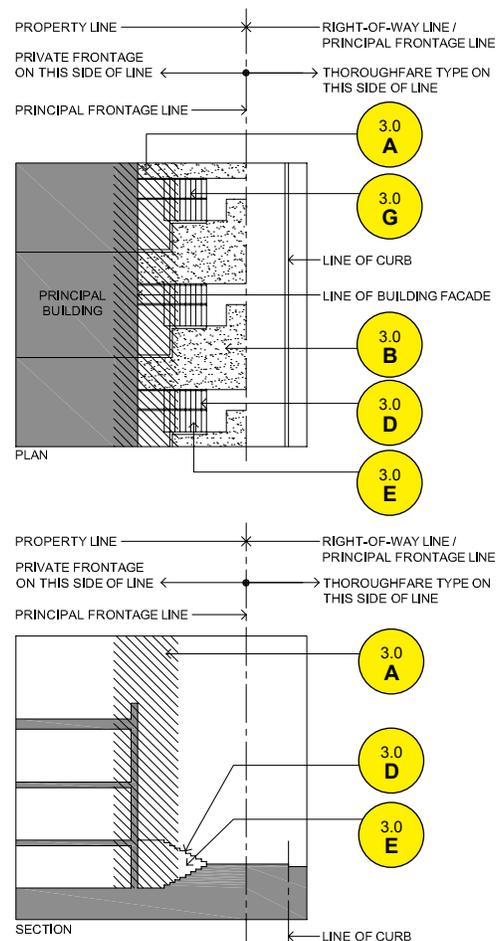
LIGHTWELL FRONTAGE CHARACTER EXAMPLES:



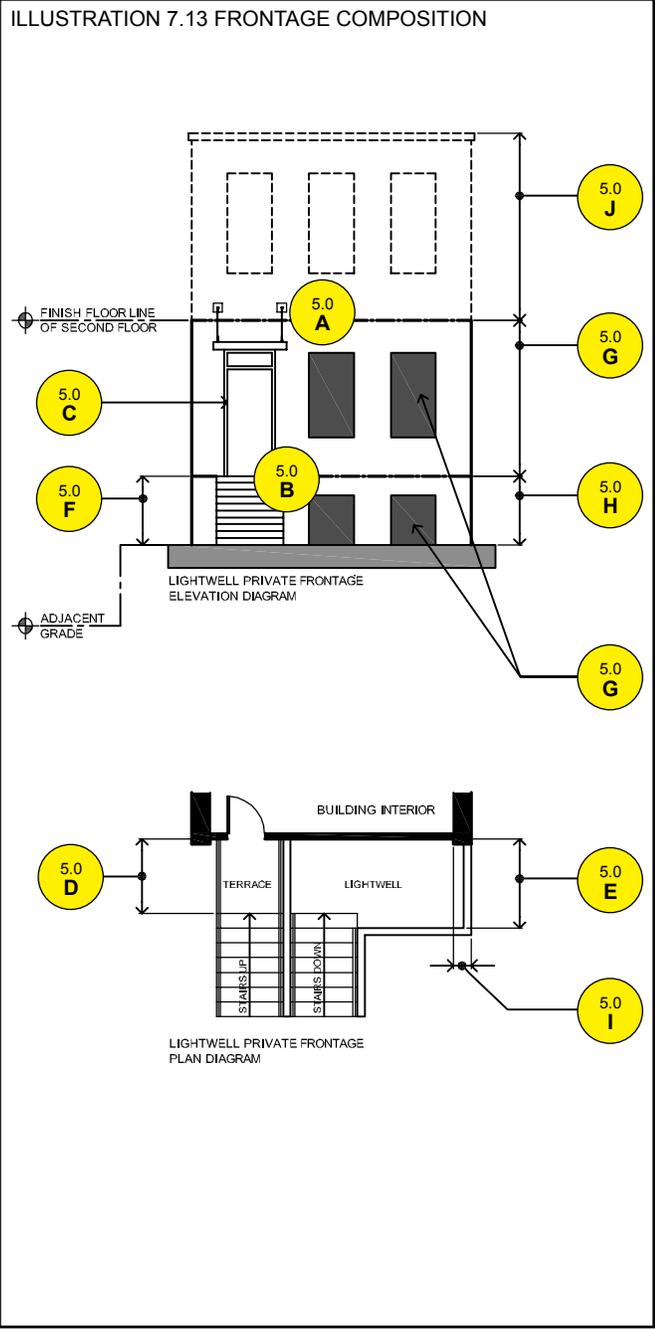
LIGHTWELL FRONTAGE DESCRIPTION:

The lightwell is a frontage type placed along the Principal Frontage line in a build-to-zone. It has separate stairs that connect a lower level entrance (lightwell) and an upper level entrance (terrace) to the public sidewalk. This allows direct access to the first story and a partially exposed basement. Commonly used on attached buildings, this frontage may also provide outdoor seating opportunities at both the terrace and lightwell locations.

ILLUSTRATION 7.12 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1711 LIGHTWELL FRONTAGE TYPE



5.0 Private Frontage Composition Requirements

Refer to Illustration 7.13 for frontage composition graphic reference.

- A. Lightwell Frontage may have a covered entry door (as depicted in graphic). Covered entry door shall have a roof that is supported by brackets, cables, or cantilevered.
- B. Entry doors for Lightwell Frontages are required to be accessed from a terrace and lightwell.
- C. Required entry door is not required to have transparency.
- D. Depth of required terrace shall be four (4) feet minimum and eight (8) feet maximum.
- E. Depth of required lightwell shall be four (4) feet minimum and eight (8) feet maximum.
- F. Terrace shall be three (3) feet minimum above adjacent grade.
- G. Transparency between first story finish floor and second story finish floor: 10% to 30% of the façade shall be windows between the adjacent grade and finish floor line of the second story. Door transparency (if used) may be included in required transparency measurement.
- H. Transparency between first story finish floor and finish floor of lightwell (floor below first floor): 15% to 30% of the façade shall be windows between the adjacent grade and finish floor line of the lightwell floor (floor below first floor). Door transparency (if used) may be included in required transparency measurement.
- I. Required 18" to 32" pilaster or wall surface spaced as indicated by Building Type.
- J. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- K. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1712 Stoop Private Frontage Type

The following standards apply to the Stoop Private Frontage Type:

1.0 Access

- A. Stoop Private Frontage and required covered entry doors shall be directly from and face a street, public path or civic space.
 - 1. Exception: Stoop and entry door may be located on the side of two-family and single-family home Building Types when the stoop is connected to the public sidewalk with a minimum of three (3) foot sidewalk.

2.0 Allowed Per Building Type

The Stoop Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Live / Work Building Type
- B. Apartment Building Type
- C. Rowhouse Building Type
- D. Two-Family House Building Type
- E. Single-Family House Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.14 for graphic representation of the location requirements for Private Frontage placement.

- A. The Stoop Frontage is required to be placed within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
 - 1. Exception: As noted in 1.0.A.1 of this Section.
- B. The ground area between the Principal Frontage Line and building façade shall be landscaped with a sidewalk connecting the stoop to the public sidewalk. Sidewalk connecting stoop and public sidewalk shall be three (3) feet wide minimum.
- C. Stoop Frontage shall have a covered entry door. Covered entry door shall have a roof that is supported by brackets, cables, or cantilevered.
- D. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- E. Stoops, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Stoop Frontage shall be ground cover.

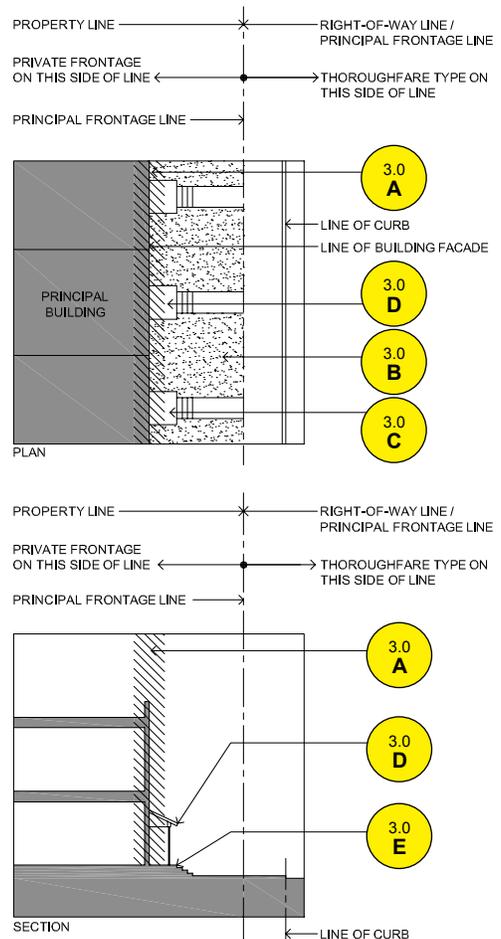
STOOP FRONTAGE CHARACTER EXAMPLES:



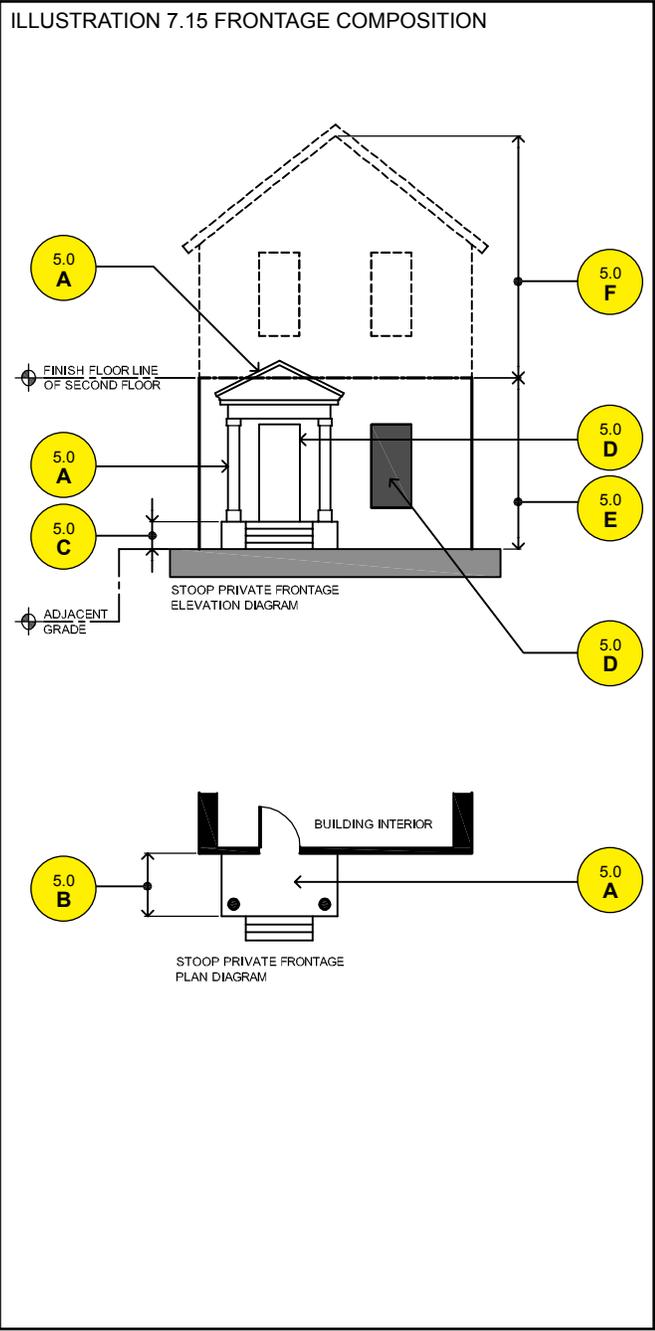
STOOP FRONTAGE DESCRIPTION:

The stoop is a frontage type typically placed along the Principal Frontage line, although it may also be placed in the side yard. A stoop is a small staircase leading to the entrance of a building that has a roof at the entrance. The elevation of the stoop is required to achieve privacy for residential uses on the first story.

ILLUSTRATION 7.14 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1712 STOOP FRONTAGE TYPE



5.0 Private Frontage Composition Requirements

Refer to Illustration 7.15 for frontage composition graphic reference.

- A. Stoop Frontage is required to have a covered entry door that has a roof that is either supported by brackets, cables, columns (depicted in graphic), or cantilevered.
- B. Depth of stoop landing shall be four (4) feet minimum.
- C. Stoop shall be twelve (12) inches minimum above adjacent grade.
- D. Required entry door is not required to have transparency.
- E. Transparency: Stoop Private Frontages shall have 10% to 30% of the façade be windows between the adjacent grade and finish floor line of the second story. Door transparency (if used) may be included in required transparency measurement.
- F. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- G. Frontage Materials: Refer to section 90-1714 for required building materials.

90-1713 Porch Private Frontage Type

The following standards apply to the Porch Private Frontage Type:

1.0 Access

- A. Porch Private Frontage and required entry doors shall be directly from and face a street, public path or civic space.

2.0 Allowed Per Building Type

The Porch Private Frontage is permitted on the following Building Types (refer to Division 6):

- A. Apartment Building Type
- B. Rowhouse Building Type
- C. Two-Family House Building Type
- D. Single-Family House Building Type

3.0 Frontage Location Requirements

Refer to Illustration 7.16 for graphic representation of the location requirements for Private Frontage placement.

- A. The Porch Frontage is required to be placed within a build-to-zone, depending on building site specific requirements. Refer to Division 6.
- B. The ground area between the Principal Frontage Line and building façade shall be landscaped with a sidewalk connecting the stoop to the public sidewalk. Sidewalk connecting stoop and public sidewalk shall be three (3) feet wide minimum.
- C. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way per the requirements of the encroachment section in Division 3.
- D. Porches, wells, and / or steps may extend into required setbacks per the requirements of the encroachment section in Division 3.

4.0 Private Frontage Landscape Requirements

- A. Landscape for the Porch Frontage shall be ground cover.

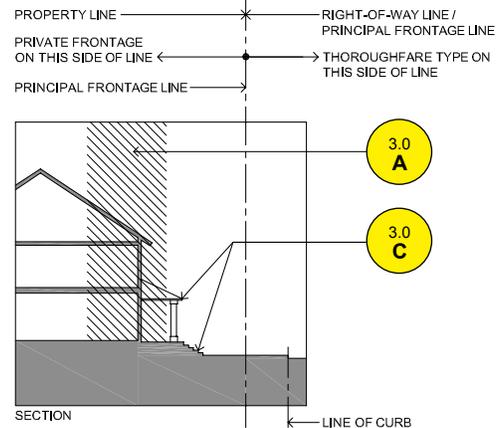
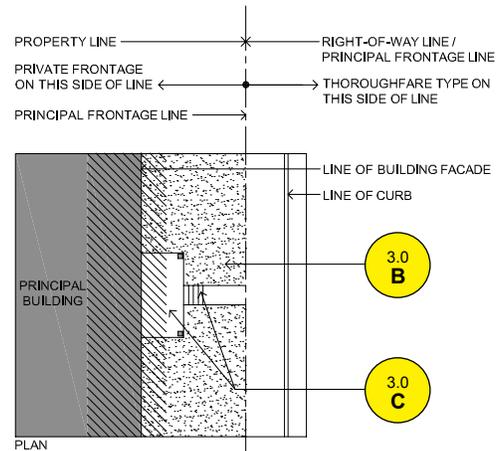
PORCH FRONTAGE CHARACTER EXAMPLES:



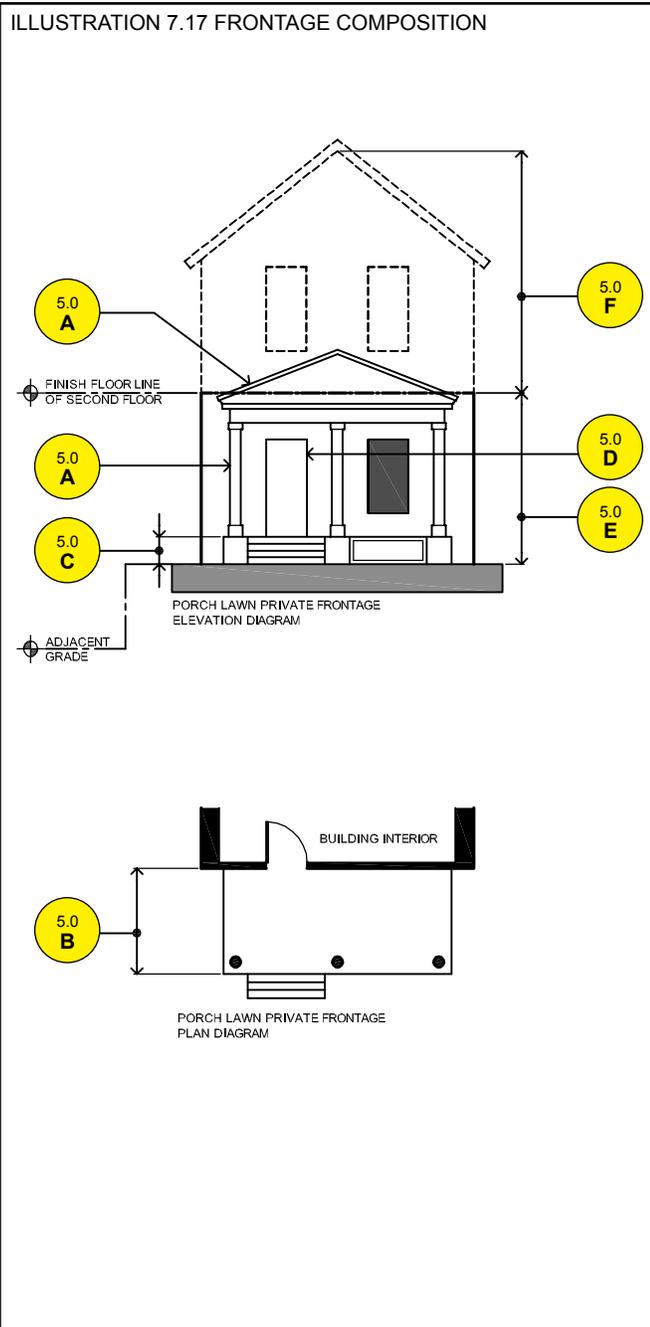
PORCH FRONTAGE DESCRIPTION:

The porch is a frontage type placed along the Principal Frontage line(s) within a build-to-zone. Porches are open-air structures that are attached to the Principal Building, forming a covered entrance. Porch dimensions need to be such that sufficient space for furniture is provided, allowing comfortable use of the space.

ILLUSTRATION 7.16 FRONTAGE LOCATION



PRIVATE FRONTAGE TYPE STANDARDS : 90-1713 PORCH FRONTAGE TYPE



5.0 Private Frontage Composition Requirements

Refer to Illustration 7.17 for frontage composition graphic reference.

- A. Porch Frontage is required to be covered by a roof that is supported by columns.
- B. Depth of porch floor shall be eight (8) feet minimum.
- C. Porch floor shall be eighteen (18) inches minimum above adjacent grade.
- D. Required entry door is not required to have transparency.
- E. Transparency: Porch Private Frontages shall have 10% to 30% of the façade be windows between the adjacent grade and finish floor line of the second story. Door transparency (if used) may be included in required transparency measurement.
- F. Transparency Upper Stories: Refer to Building Types (Division 6) for transparency requirements of upper stories.
- G. Frontage Materials: Refer to section 90-1714 for required building materials.

I. PRIVATE FRONTAGE EXTERIOR WALLS

1.0 Intent

- A. Private Frontage walls shall reflect and complement the materials and construction techniques of West Michigan's regional architecture.
- B. Materials on exterior walls shall express the construction techniques and structural constraints of traditional and long-lasting building materials.
- C. All exterior wall materials shall express their specific properties. For example, heavier more permanent materials (masonry) shall support lighter materials (wood).
- D. Private Frontage walls shall be compatible and complement the building walls.

2.0 Exterior Wall Materials

The following materials are permitted on exterior walls:

- A. Brick and masonry.
- B. Stone (or synthetic equivalent).
- C. Pre-cast masonry (for trim and cornice elements only).
- D. Polyurethane and Cellular PVC shapes (for cornice element only).
- E. Metal (for beams, lintels, trim elements and ornamentation only).
- F. Split-faced block (for piers and foundation walls only).
- G. Wood lap siding.
- H. Cement board siding (Hardie-Plank or equivalent).
- I. Other materials as approved by Planning Director or Planning Commission.

3.0 Exterior Wall Configurations and Techniques

The following configurations and construction techniques shall be utilized when assembling exterior walls:

- A. Wall openings shall not span vertically more than one story.
- B. Wall openings shall correspond to interior space and not span horizontally across the building.
- C. Wall materials shall be consistent horizontally (i.e. – joints between different materials shall be horizontal and continue around corners) except at chimneys and piers.
- D. Cement board siding shall have a smooth finish (no faux wood grain).
- E. All trim on wood- and cement board-sided walls (including window trim, door trim, horizontal expression lines and corner trim) shall be similar to the material of the siding.

II. ROOFS AND PARAPETS

1.0 Intent

- A. Roofs and parapets shall demonstrate recognition of the climate by utilizing appropriate pitch, drainage and materials.
- B. Sustainable practices, such as green roof technology, are strongly encouraged to the maximum extent possible.

2.0 Roof Materials for Pitched or Sloped Roofs

The following materials are permitted for pitched roofs:

- A. Slate (or equivalent synthetic).
- B. Metal (standing seam or similar).
- C. Dimensional asphalt shingles.
- D. Other materials as approved by Planning Director or Planning Commission.

3.0 Roof Materials for Flat Roofs

The following materials are permitted for flat roofs:

- A. Any material that is permitted by the Building Code.

4.0 Materials for Cornices

The following materials are permitted for parapets and cornices:

- A. Any material that is permitted in the Exterior Building Wall Section.
- B. Material shall be consistent and compatible with the material of the exterior wall.

5.0 Pitched Roof Configurations and Techniques

The following configurations and construction techniques shall be utilized when assembling pitched roofs:

- A. Simple hip and gable roofs shall be symmetrically pitched between 4:12 and 12:12.
- B. Shed roofs attached to the main structure shall be pitched between 4:12 and 7:12.
- C. Eaves shall overhang a minimum of twelve (12) inches.
- D. Rakes (gable end) shall overhang a minimum of eight (8) inches.
- E. Open eaves and simple traditional soffits and fascia are encouraged.

PRIVATE FRONTAGE TYPE STANDARDS : 90-1714 MATERIALS AND TECHNIQUE

III. WINDOWS AND DOORS

1.0 Window Materials

- A. Window frames shall be anodized aluminum, wood, clad wood, vinyl, or steel.
- B. Glass in windows shall be clear. Refer to definitions in Division 11 for requirements of clear glass.
- C. Window screens shall be black or gray.
- D. Screen frames shall match window frame material or be dark anodized.

2.0 Door Materials

- A. Door frames shall be anodized aluminum, wood, clad wood, or steel.
- B. Doors shall be made of wood, clad wood, fiberglass, steel, or other materials as approved by Planning Director or Planning Commission.
- C. Any glass that is provided in doors as part of minimum transparency requirements shall be clear. Refer to definitions in Division 11 for requirements of clear glass.

3.0 Window Configurations and Techniques

- A. Windows may be ganged horizontally (maximum 5 per group) if each grouping is separated by a mullion, column, pier or wall section.
- B. Windows shall be no closer than thirty (30) inches to a building corner, excluding bay windows.
- C. Windows shall be square or vertically proportioned.
- D. Exterior shutters, if applied, shall be sized and mounted appropriately for the window (i.e. each shutter shall be one-half the window width).

4.0 Door Configurations and Techniques

- A. Double height entries (those that span more than one story) are not allowed.
- B. Roll down security gates and doors are prohibited.

IV. AWNINGS AND CANOPIES

1.0 Awning and Canopy Materials

- A. Awnings shall be cloth, canvas or similar material. Shiny or reflective surfaces are not permitted.
- B. Canopies shall be metal.
- C. Internal illumination is not permitted on awnings or canopies.
- D. One-quarter or one-half cylinder style awnings are not permitted.

i	1	2	3	4	5	6
Introduction	Title, Purpose & Scope	Applicability & Procedures	General Provisions	Context Areas & Use	Subdivision & Access	Building Types
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Private Frontages	Thoroughfare Guidelines	Off-Street Parking	Sign Standards	FBC Definitions		

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i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
7	Private Frontages	8	Thoroughfare Guidelines	9	Off-Street Parking	10	Sign Standards	11	FBC Definitions	City of Wyoming Zoning Ordinance			

90-1800 PURPOSE

The purpose of this Division is to identify guidelines for the Thoroughfare Types (streets and streetscapes) permitted within the Context Areas of the Form Based Code. These guidelines help to ensure that proposed development is consistent with the City of Wyoming Land Use Plan.

90-1801 APPLICABILITY

The guidelines of this Division apply to thoroughfares located in the Form Based Code Areas.

- A. Each proposed thoroughfare shall be designed based on the guidelines established within this Division.
 - 1. Permitted Thoroughfare Types for each Context Area are identified in Table 90-1802.
 - 2. The “crescent street” identified in the 28th Street Sub Area Plan and depicted on Map 90-1403 (located in Division 4) shall be designed based on the guidelines for Thoroughfare Type AV-110-66-C.
 - 3. City Planner, Planning Commission, City Engineer, and/or City DPW director may authorize deviation from Thoroughfare Guidelines when existing conditions or other physical constraints warrant thoroughfare design changes.

90-1802 THOROUGHFARES BY CONTEXT AREA

Refer to Table 90-1802 to determine the specific Thoroughfare Types that are permitted in each of the Context Areas.

90-1803 CONTENTS OF THIS DIVISION

The following Thoroughfare Type guidelines are specified in this Division

- A. Avenue AV-110-66-C: Avenue with center median.
- B. Street ST-60-35-C: Commercial Street
- C. Street ST-60-35-R: Residential Street
- D. Yield Street YS-60-27-R: Residential Yield Street
- E. Rear Alley RA-20-20-C: Commercial Alley
- F. Rear Alley RA-20-12-R: Residential Alley

CHANGES ON THIS PAGE

TABLE 90-1802 THOROUGHFARE TYPES PERMITTED PER CONTEXT AREA

Building Types	Corridor Center (CC)	Corridor Urban (CU)	Corridor General (CG)	Corridor Sub-Urban (CS)	Corridor Edge (CE)	Corridor Neighborhood (CN)
AV-110-66-C	(FOR USE IN CRESCENT STREET AREA ONLY)					
ST-60-35-C						
ST-60-35-R						
YS-60-27-R						
RA-20-20-C						
RA-20-12-R						

White cells represent Context Areas where Thoroughfare Type is permitted.

Darkened cells represent Context Areas where Thoroughfare Type is NOT permitted.

90-1805 GUIDELINES FOR ALL THOROUGHFARES

The following guidelines apply to all Thoroughfare Types:

- A. Thoroughfares are intended to be for use by all modes of transportation, including vehicular, bicycle, and pedestrian.
- B. Thoroughfares shall generally consist of vehicular lanes, parking lanes, a pedestrian realm (the sidewalk area), and landscaping.
- C. Thoroughfares shall be designed in context with the urban form and desired design speed of the Context Area through which they pass.
- D. Thoroughfare network shall be designed to define blocks not exceeding the size prescribed in Division 5, Subdivision and Access Standards.
- E. All thoroughfares shall terminate at other thoroughfares, forming a network. Cul-de-sacs shall be subject to approval by Planning Director or Planning Commission, to accommodate specific site conditions only.
- F. Each lot shall front on at least one thoroughfare.
- G. Each thoroughfare shall have street canopy trees consistent with the requirements of this Division.
- H. Street canopy trees shall be “limbed up” so as to not interfere with pedestrian or automobile travel. (Minimum 7 feet clear over the sidewalk and minimum 14 feet clear over travel lanes).
- I. Unpaved ground area fronting lots shall be planted with groundcover consistent with the requirements of Division 6 Building Types and Division 7 Private Frontage Types.

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Introduction	Title, Purpose & Scope	Applicability & Procedures	General Provisions	Context Areas & Use	Subdivision & Access	Building Types
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TABLE 90-1806 THOROUGHFARE ATTRIBUTES

THOROUGHFARE TYPE:	AVENUE WITH MEDIAN
CONTEXT AREA ASSIGNMENT:	CC / CU / CG (CRESCENT STREET AREA ON PLAN)
RIGHT-OF-WAY WIDTH:	110 FEET
PAVEMENT WIDTH:	62 FEET
MOVEMENT:	FREE MOVEMENT
TRAFFIC LANES:	(2) 11 FOOT WIDE LANES
PARKING LANES:	6'-6" WIDE PARALLEL BOTH SIDES
MEDIAN:	REQUIRED LANDSCAPED CENTER MEDIAN
WALKWAY TYPE:	21'-6" WIDE SIDEWALK
PLANTER TYPE:	5'-0" x 5'-0" TREE WELL OR RAISED PLANTER
CURB TYPE:	CONCRETE HIGH-BACK CURB AND GUTTER
LANDSCAPE TYPE:	TREES AT 50 FEET ON CENTER (AVERAGE)
MULTIMODAL PROVISIONS:	5'-0" WIDE BIKE LANES WITH 3'-0" BUFFER BETWEEN PARKING LANE

This thoroughfare assembly has a landscaped center median and serves commercial uses in more intense Context Areas. The thoroughfare assembly consists of wide sidewalks, bump-outs, formally arranged street trees, bike lanes and parallel parking. The wide sidewalks can accommodate outdoor seating areas while also maintaining adequate pedestrian travel zones and furnishing zones. The center median may be replaced with left turn lanes at intersections and driveways as required to accommodate traffic volumes.

Bike lanes are continuous and located in between the sidewalk and the parking lanes.

THOROUGHFARE KEY

THOROUGHFARE KEY ST-66-36-C

THOROUGHFARE TYPE

- AV Avenue with Median
- ST Street
- YS Yield Street
- RA Rear Alley

RIGHT-OF-WAY WIDTH
Measured from Right-of-Way line to Right-of-Way line.

PAVEMENT WIDTH
Measured from "edge of metal" to "edge of metal" (not including gutters).

COMMERCIAL OR RESIDENTIAL DESIGNATION
Commercial (C) indicates that the thoroughfare is typically located on predominately commercial streets. Commercial thoroughfares have pavement from right-of-way to curb with street trees in tree grates or raised planters (no landscaped parkways).
Residential (R) indicates that the thoroughfare is typically located on predominately residential streets. Residential thoroughfares have landscaped parkways.

PEDESTRIAN REALM DESIGN ZONES

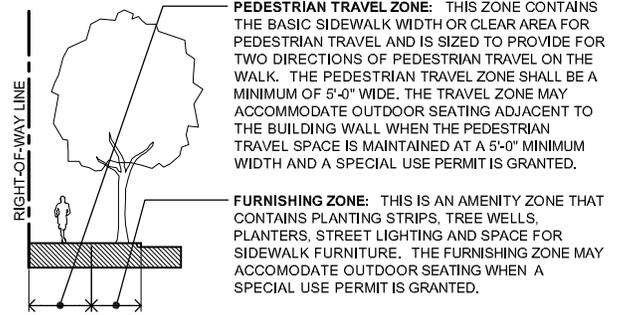


ILLUSTRATION 8.01 THOROUGHFARE CROSS-SECTION

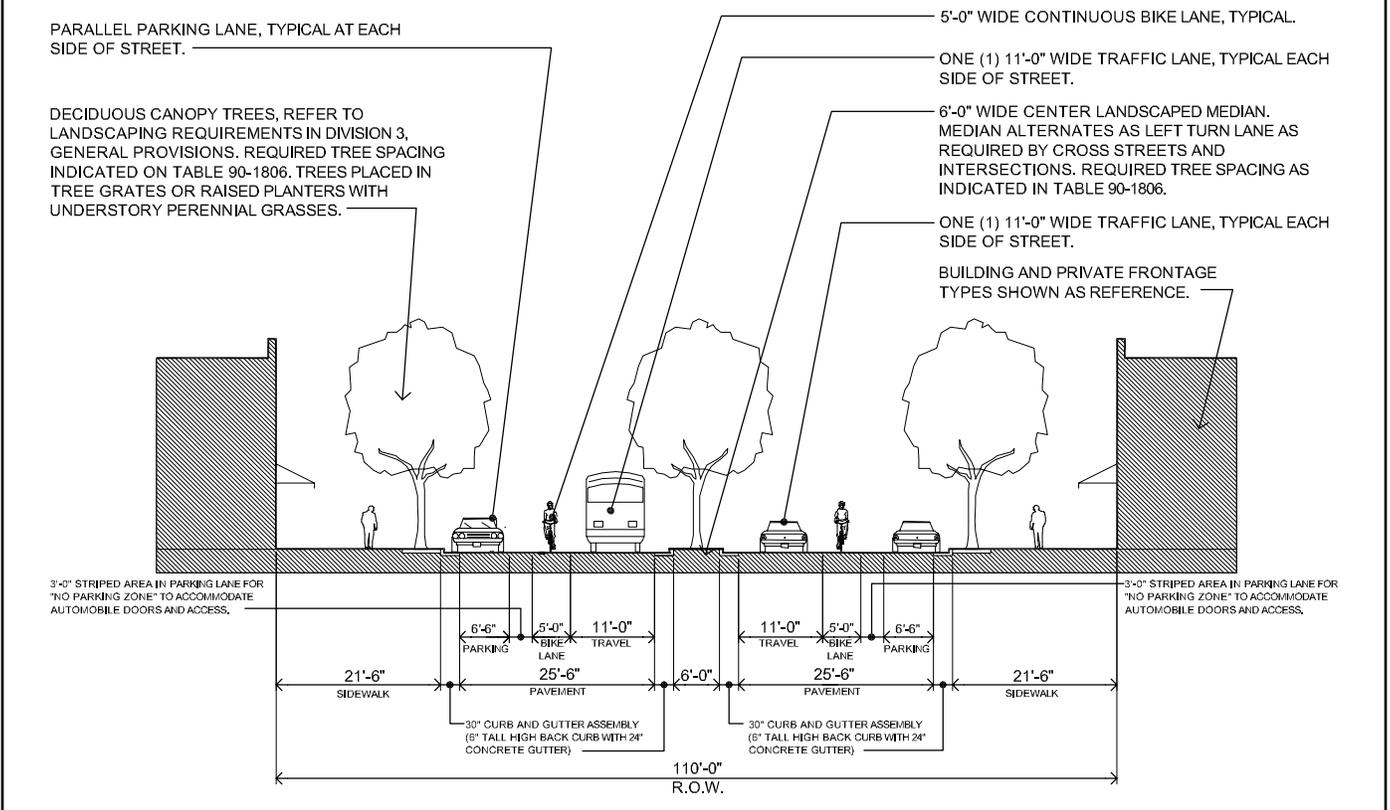
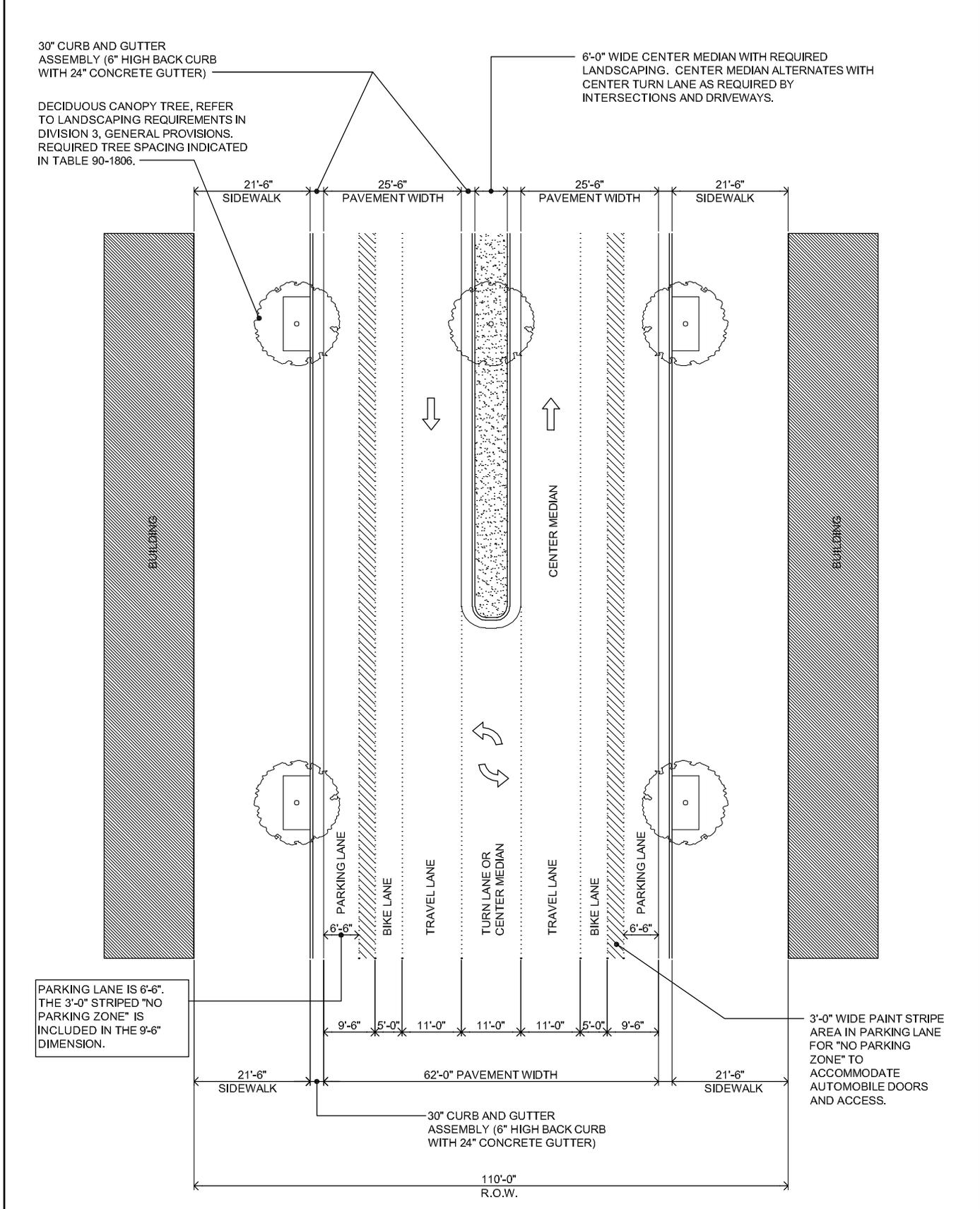


ILLUSTRATION 8.02 THOROUGHFARE PLAN VIEW



1	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
7	Private Frontages	8	Thoroughfare Guidelines	9	Off-Street Parking	10	Sign Standards	11	FBC Definitions	City of Wyoming Zoning Ordinance			

TABLE 90-1807 THOROUGHFARE ATTRIBUTES

THOROUGHFARE TYPE:	STREET
CONTEXT AREA ASSIGNMENT:	ALL CONTEXT AREAS
RIGHT-OF-WAY WIDTH:	60 FEET
PAVEMENT WIDTH:	35 FEET
MOVEMENT:	FREE MOVEMENT
TRAFFIC LANES:	(2) 11 FOOT WIDE LANES
PARKING LANES:	6'-6" WIDE PARALLEL BOTH SIDES
WALKWAY TYPE:	10'-0" WIDE SIDEWALK
PLANTER TYPE:	5'-0" x 5'-0" TREE WELL OR RAISED PLANTER
CURB TYPE:	CONCRETE HIGH-BACK CURB AND GUTTER
LANDSCAPE TYPE:	TREES AT 66 FEET ON CENTER (AVERAGE)
MULTIMODAL PROVISIONS:	BICYCLE ROUTE WITH SHARROWS

This thoroughfare type may serve commercial uses in all of the Context Areas in the Form Based Code. The thoroughfare assembly consists of wide sidewalks and formally arranged street trees. The wide sidewalks may accommodate outdoor seating areas while also maintaining adequate pedestrian travel zones and furnishing zones.

Street parking is accommodated with parallel parking on both sides of the street.

Bicycle lanes are shared with the travel lanes because of the street's slow design speed. Sharrows are painted within the travel lanes to designate bike route.

THOROUGHFARE KEY

THOROUGHFARE TYPE	ST-66-36-C
AV	Avenue with Median
ST	Street
YS	Yield Street
RA	Rear Alley

RIGHT-OF-WAY WIDTH
Measured from Right-of-Way line to Right-of-Way line.

PAVEMENT WIDTH
Measured from "edge of metal" to "edge of metal" (not including gutters).

COMMERCIAL OR RESIDENTIAL DESIGNATION
Commercial (C) indicates that the thoroughfare is typically located on predominately commercial streets. Commercial thoroughfares have pavement from right-of-way to curb with street trees in tree grates or raised planters (no landscaped parkways).

Residential (R) indicates that the thoroughfare is typically located on predominately residential streets. Residential thoroughfares have landscaped parkways.

PEDESTRIAN REALM DESIGN ZONES

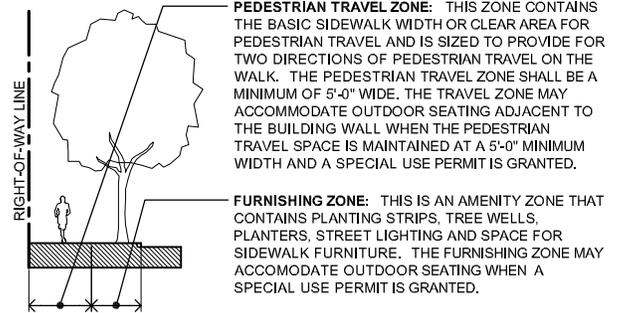


ILLUSTRATION 8.03 THOROUGHFARE CROSS-SECTION

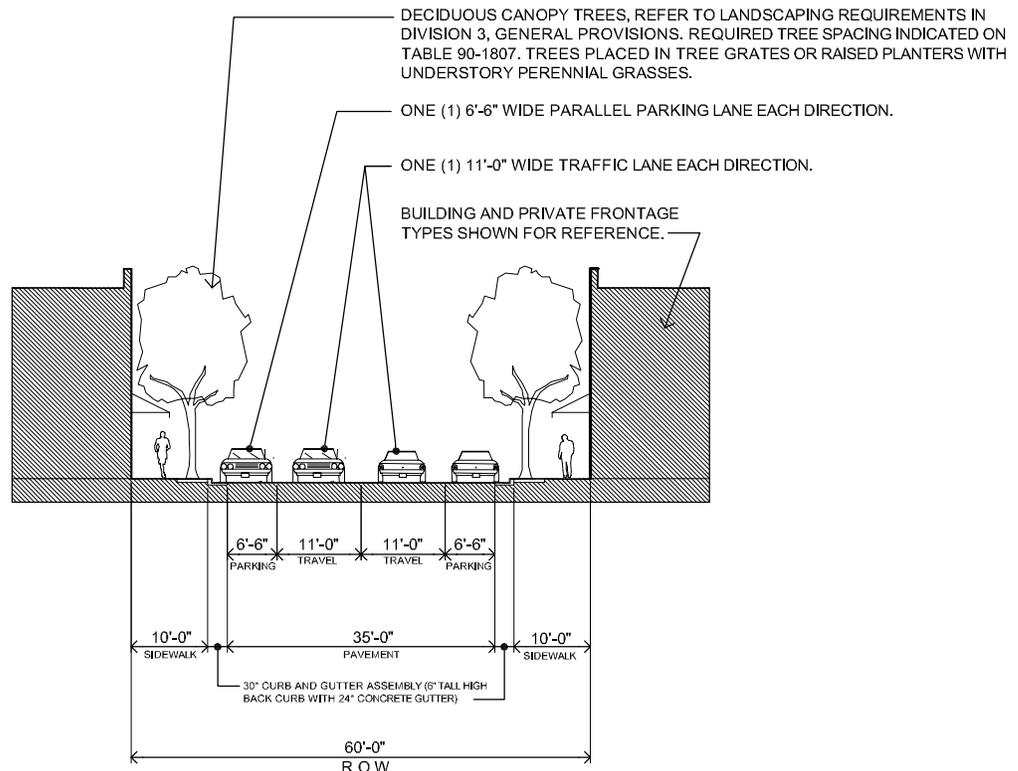
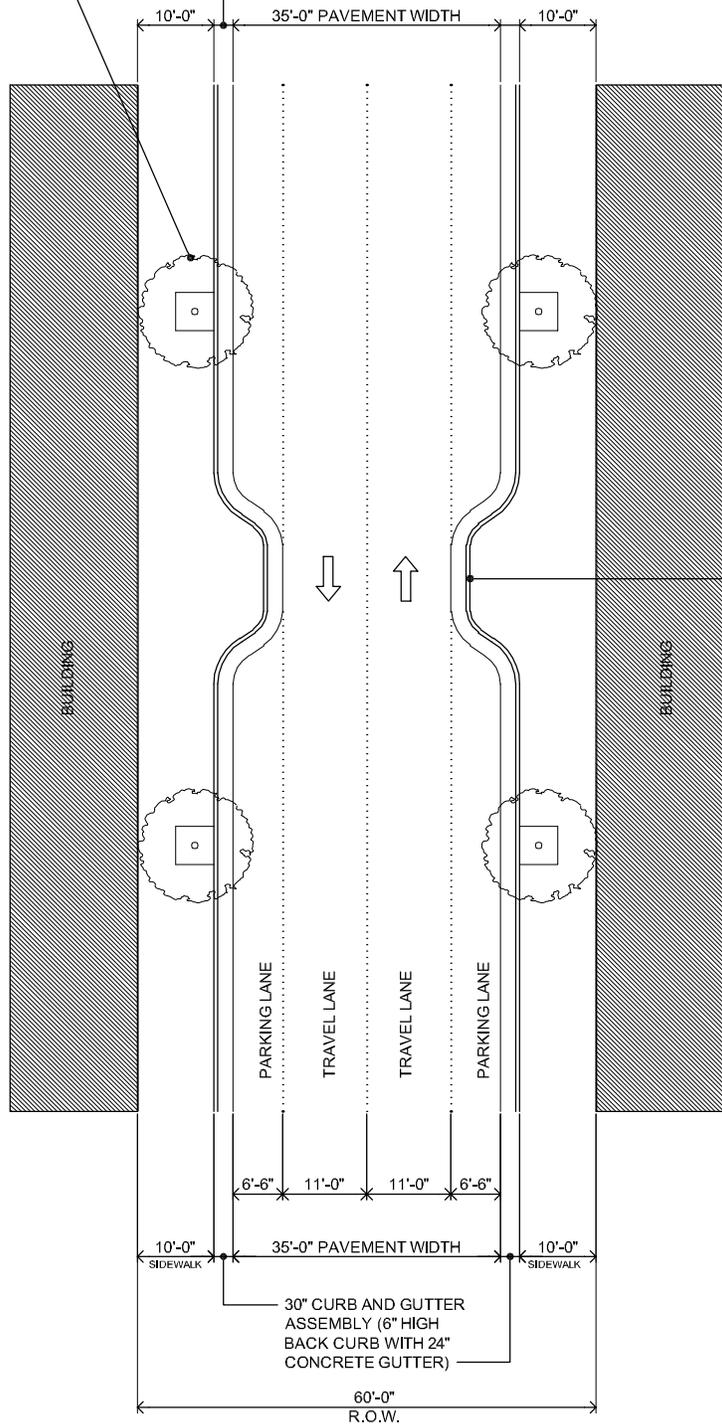


ILLUSTRATION 8.04 THOROUGHFARE PLAN VIEW

30" CURB AND GUTTER ASSEMBLY (6" HIGH BACK CURB WITH 24" CONCRETE GUTTER)

DECIDUOUS CANOPY TREE, REFER TO LANDSCAPING REQUIREMENTS IN DIVISION 3, GENERAL PROVISIONS. REQUIRED TREE SPACING INDICATED IN TABLE 90-1807.



BULB-OUT EXTENDS INTO PARKING LANES AT MID-BLOCK AND INTERSECTIONS.

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Introduction	Title, Purpose & Scope	Applicability & Procedures	General Provisions	Context Areas & Use	Subdivision & Access	Building Types
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TABLE 90-1808 THOROUGHFARE ATTRIBUTES

THOROUGHFARE TYPE:	STREET
CONTEXT AREA ASSIGNMENT:	CG / CS / CE / CN
RIGHT-OF-WAY WIDTH:	60 FEET
PAVEMENT WIDTH:	35 FEET
MOVEMENT:	FREE MOVEMENT
TRAFFIC LANES:	(2) 11 FOOT WIDE LANES
PARKING LANES:	6'-6" WIDE PARALLEL BOTH SIDES
WALKWAY TYPE:	5'-0" WIDE SIDEWALK
PLANTER TYPE:	5'-0" CONTINUOUS LANDSCAPED PARKWAY
CURB TYPE:	CONCRETE HIGH-BACK CURB AND GUTTER
LANDSCAPE TYPE:	TREES AT 40 TO 45 FEET ON CENTER
MULTIMODAL PROVISIONS:	BICYCLE ROUTE (NO SHARROWS)

This thoroughfare type serves residential uses. The thoroughfare consists of residentially scaled sidewalks and a landscaped parkway with formally arranged street trees between the sidewalk and curb.

Street parking is accommodated with parallel parking on both sides of the street.

Bicycle lanes are not defined within the thoroughfare although the street may accommodate bike traffic within the travel lanes because of its slow design speed.

THOROUGHFARE KEY

THOROUGHFARE KEY ST-66-36-C

THOROUGHFARE TYPE

- AV Avenue with Median
- ST Street
- YS Yield Street
- RA Rear Alley

RIGHT-OF-WAY WIDTH
Measured from Right-of-Way line to Right-of-Way line.

PAVEMENT WIDTH
Measured from "edge of metal" to "edge of metal" (not including gutters).

COMMERCIAL OR RESIDENTIAL DESIGNATION
Commercial (C) indicates that the thoroughfare is typically located on predominately commercial streets. Commercial thoroughfares have pavement from right-of-way to curb with street trees in tree grates or raised planters (no landscaped parkways).
Residential (R) indicates that the thoroughfare is typically located on predominately residential streets. Residential thoroughfares have landscaped parkways.

PEDESTRIAN REALM DESIGN ZONES

PEDESTRIAN TRAVEL ZONE: THIS ZONE CONTAINS THE BASIC SIDEWALK WIDTH OR CLEAR AREA FOR PEDESTRIAN TRAVEL AND IS SIZED TO PROVIDE FOR TWO DIRECTIONS OF PEDESTRIAN TRAVEL ON THE WALK. THE PEDESTRIAN TRAVEL ZONE SHALL BE A MINIMUM OF 5'-0" WIDE. THE TRAVEL ZONE MAY ACCOMMODATE OUTDOOR SEATING ADJACENT TO THE BUILDING WALL WHEN THE PEDESTRIAN TRAVEL SPACE IS MAINTAINED AT A 5'-0" MINIMUM WIDTH AND A SPECIAL USE PERMIT IS GRANTED.

FURNISHING ZONE: THIS IS AN AMENITY ZONE THAT CONTAINS PLANTING STRIPS, TREE WELLS, PLANTERS, STREET LIGHTING AND SPACE FOR SIDEWALK FURNITURE. THE FURNISHING ZONE MAY ACCOMMODATE OUTDOOR SEATING WHEN A SPECIAL USE PERMIT IS GRANTED.

ILLUSTRATION 8.05 THOROUGHFARE CROSS-SECTION

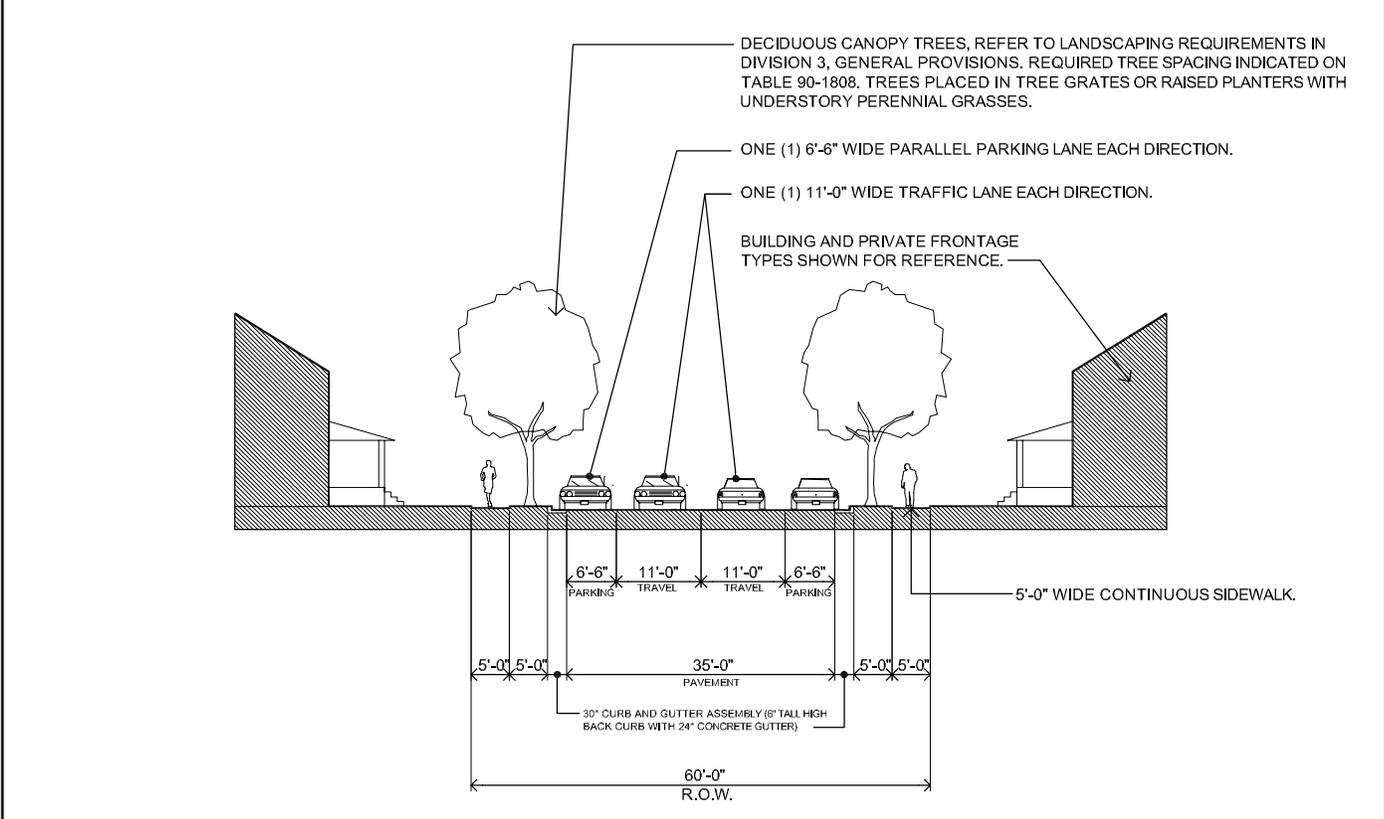


ILLUSTRATION 8.06 THOROUGHFARE PLAN VIEW

30" CURB AND GUTTER ASSEMBLY (6" HIGH BACK CURB WITH 24" CONCRETE GUTTER)

DECIDUOUS CANOPY TREE, REFER TO LANDSCAPING REQUIREMENTS IN DIVISION 3, GENERAL PROVISIONS. REQUIRED TREE SPACING INDICATED IN TABLE 90-1808.

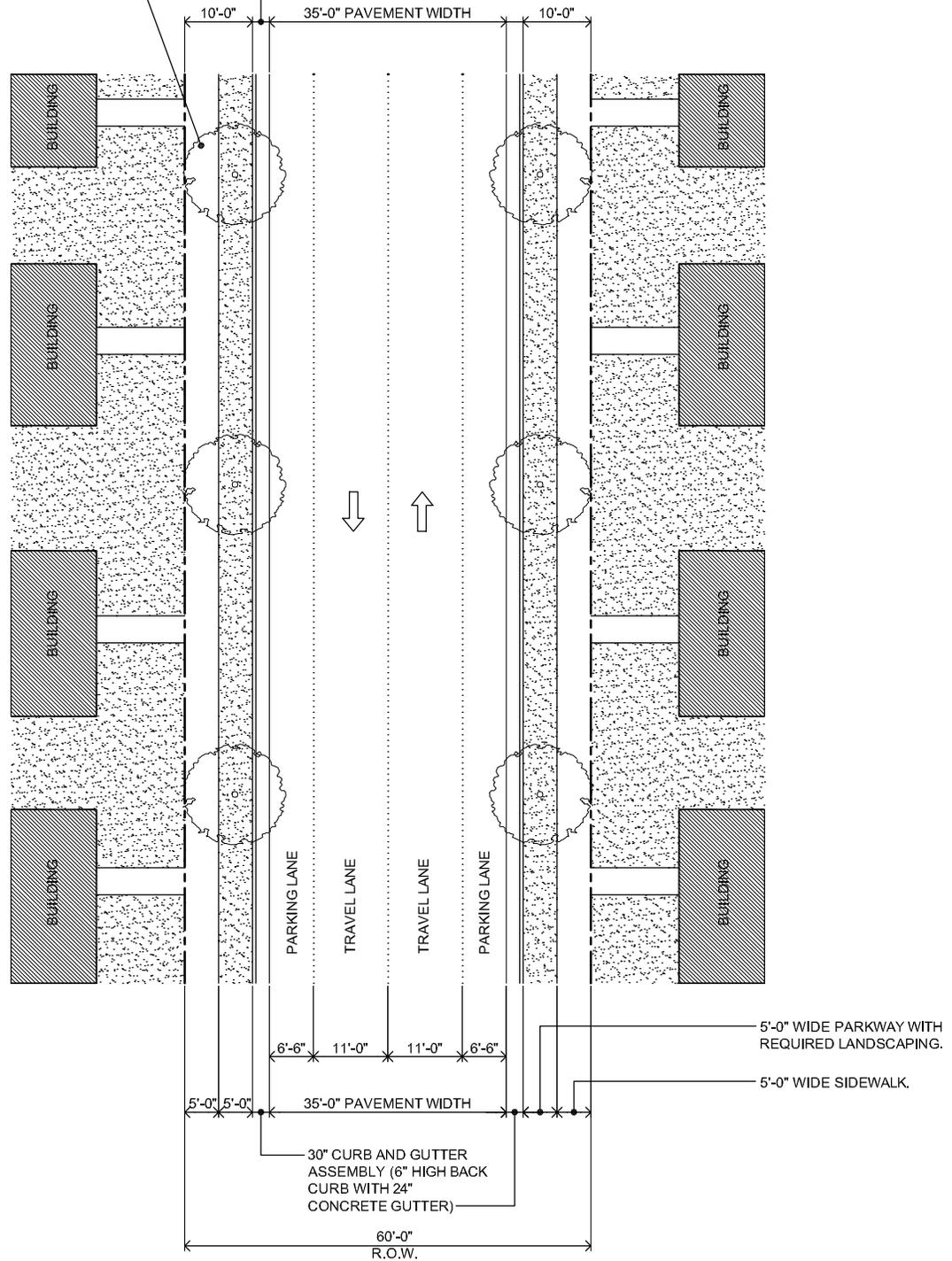


TABLE 90-1809 THOROUGHFARE ATTRIBUTES

THOROUGHFARE TYPE:	YIELD STREET
CONTEXT AREA ASSIGNMENT:	CN
RIGHT-OF-WAY WIDTH:	60 FEET
PAVEMENT WIDTH:	24 FEET
MOVEMENT:	YIELD MOVEMENT
TRAFFIC LANES:	(1) 11 FOOT WIDE LANE
PARKING LANES:	6'-6" WIDE PARALLEL BOTH SIDES
WALKWAY TYPE:	5'-0" WIDE CONCRETE SIDEWALK
PLANTER TYPE:	9'-6" CONTINUOUS LANDSCAPED PARKWAY
CURB TYPE:	CONCRETE HIGH-BACK CURB AND GUTTER
LANDSCAPE TYPE:	TREES AT 30 TO 40 FEET ON CENTER
MULTIMODAL PROVISIONS:	BICYCLE ROUTE (NO SHARROWS)

This thoroughfare type serves lower density residential uses. The thoroughfare assembly consists of residentially scaled sidewalks and a landscaped parkway with formally arranged street trees between the sidewalk and curb.

The thoroughfare has one travel lane that forces opposing traffic to take turns passing through areas where parked cars have narrowed the cross section. This yield movement creates safer streets by slowing down vehicular traffic.

Street parking is accommodated with parallel parking on both sides of the street.

Bicycle lanes are not defined within the thoroughfare although the street may accommodate bike traffic within the travel lanes because of its slow design speed.

THOROUGHFARE KEY

THOROUGHFARE KEY ST-66-36-C

THOROUGHFARE TYPE

- AV Avenue with Median
- ST Street
- YS Yield Street
- RA Rear Alley

RIGHT-OF-WAY WIDTH
Measured from Right-of-Way line to Right-of-Way line.

PAVEMENT WIDTH
Measured from "edge of metal" to "edge of metal" (not including gutters).

COMMERCIAL OR RESIDENTIAL DESIGNATION
Commercial (C) indicates that the thoroughfare is typically located on predominately commercial streets. Commercial thoroughfares have pavement from right-of-way to curb with street trees in tree grates or raised planters (no landscaped parkways).
Residential (R) indicates that the thoroughfare is typically located on predominately residential streets. Residential thoroughfares have landscaped parkways.

PEDESTRIAN REALM DESIGN ZONES

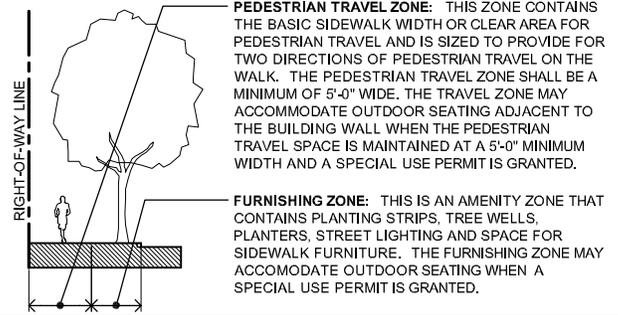


ILLUSTRATION 8.07 THOROUGHFARE CROSS-SECTION

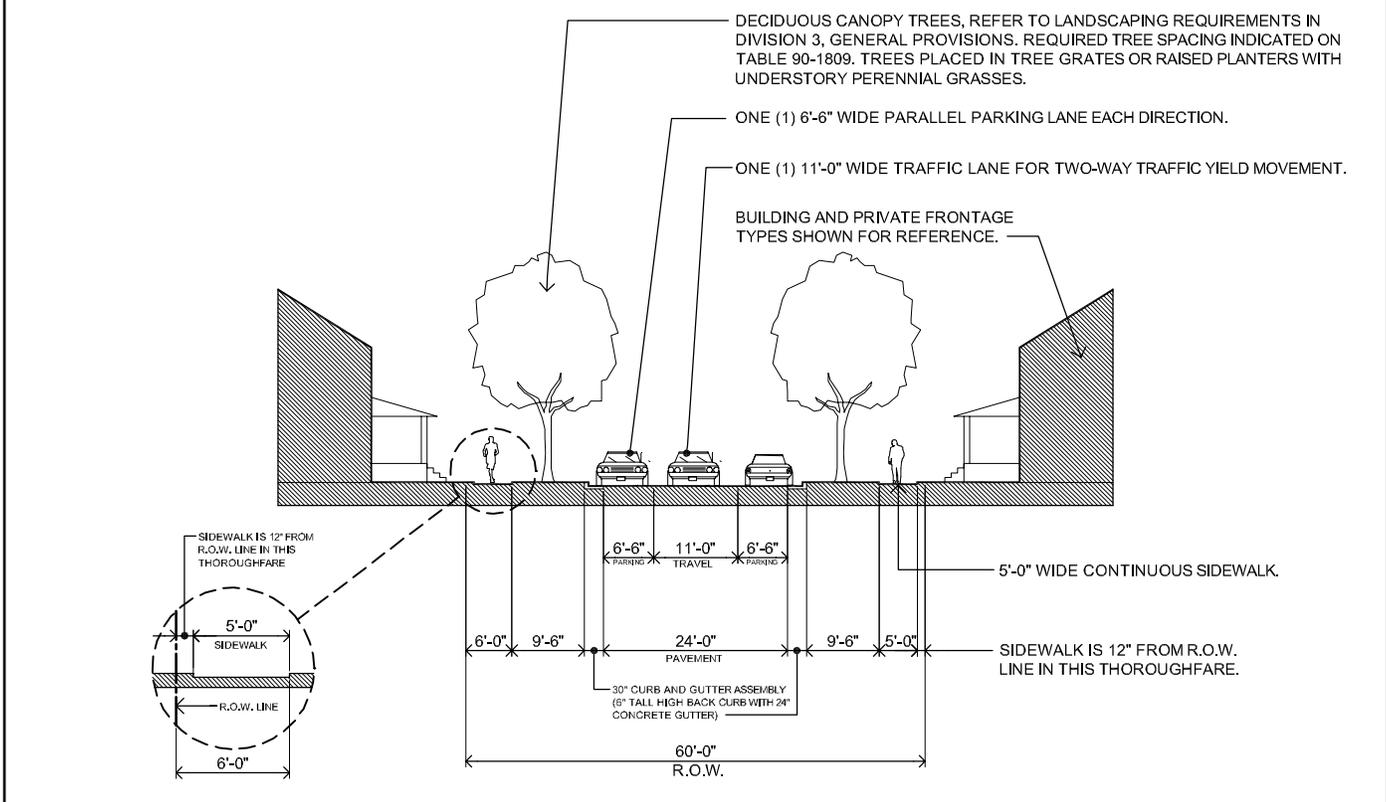
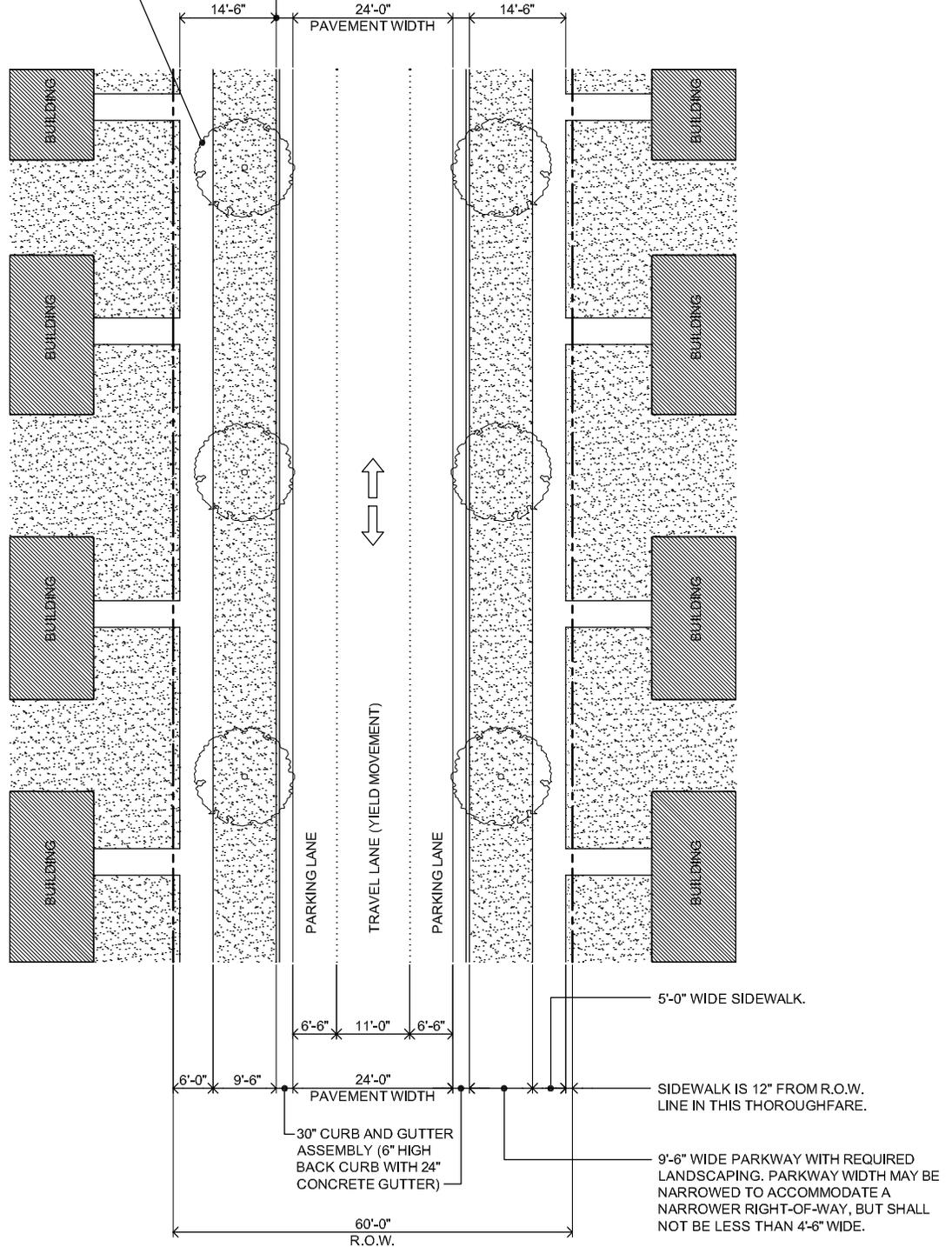


ILLUSTRATION 8.08 THOROUGHFARE PLAN VIEW

30" CURB AND GUTTER ASSEMBLY (6" HIGH BACK CURB WITH 24" CONCRETE GUTTER)

DECIDUOUS CANOPY TREE, REFER TO LANDSCAPING REQUIREMENTS IN DIVISION 3, GENERAL PROVISIONS. REQUIRED TREE SPACING INDICATED IN TABLE 90-1809.



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TABLE 90-1810 THOROUGHFARE ATTRIBUTES

THOROUGHFARE TYPE:	REAR ALLEY
CONTEXT AREA ASSIGNMENT:	CU / CG / CS / CE
RIGHT-OF-WAY WIDTH:	20 FEET
PAVEMENT WIDTH:	20 FEET
MOVEMENT:	SLOW MOVEMENT
TRAFFIC LANES:	NOT APPLICABLE
PARKING LANES:	NONE
WALKWAY TYPE:	NONE
PLANTER TYPE:	NONE
CURB TYPE:	INVERTED CROWN
LANDSCAPE TYPE:	NONE
MULTIMODAL PROVISION:	NOT APPLICABLE

This thoroughfare type is a rear alley that serves commercial uses in more intense Context Areas. It provides service access to the rear of commercial buildings, including parking access and dumpster and trash removal service.

The thoroughfare does not have curb and gutter and instead accommodates storm water with an inverted crown that drains in the center of the alley. Pavement extends from right-of-way line to right-of-way line (or from easement line to easement line).

Parking is not permitted within the alley right-of-way, although temporary parking for loading, unloading and deliveries is permitted.

Alleys do not accommodate bicycle traffic or pedestrian traffic.

THOROUGHFARE KEY

THOROUGHFARE KEY ST-66-36-C

THOROUGHFARE TYPE

- AV Avenue with Median
- ST Street
- YS Yield Street
- RA Rear Alley

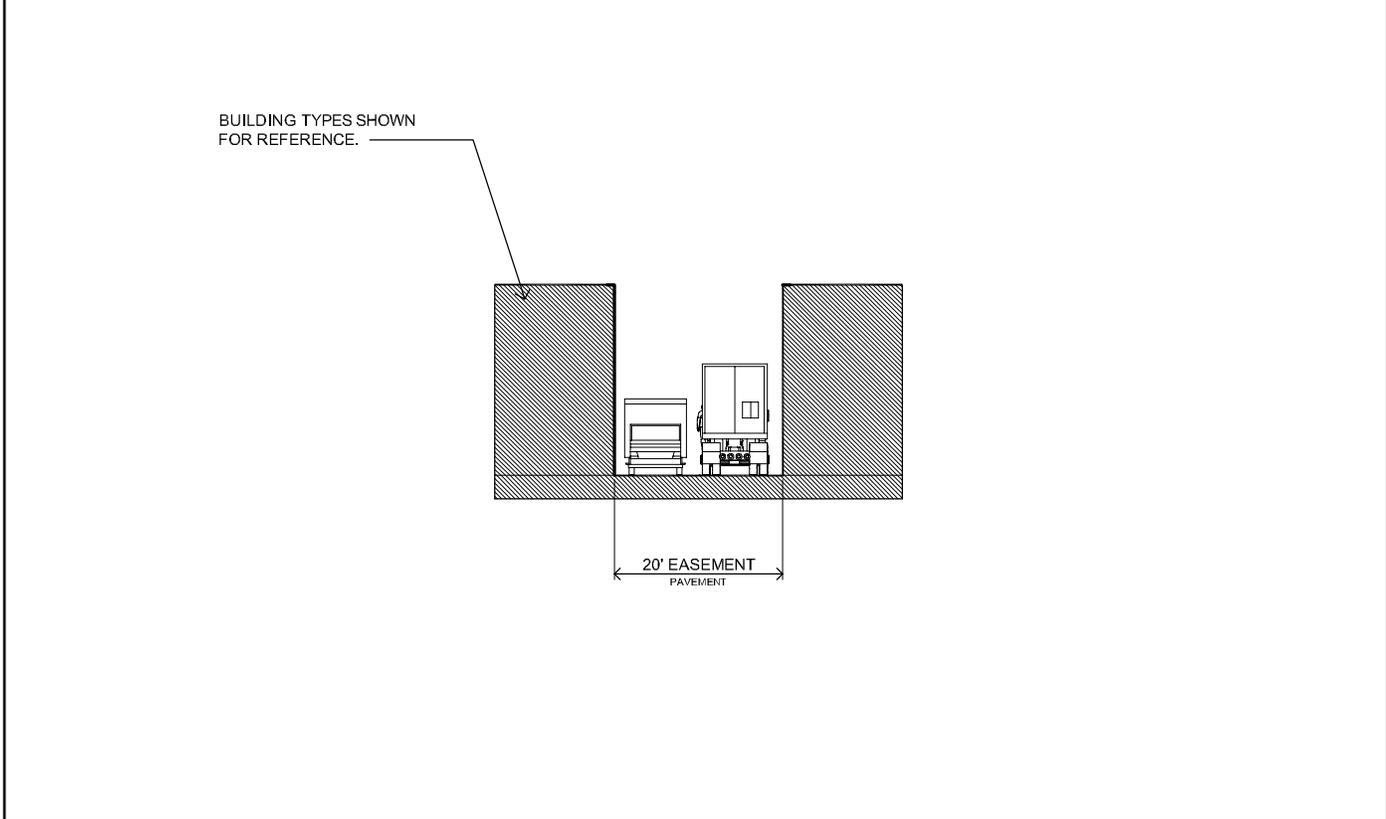
RIGHT-OF-WAY WIDTH _____
Measured from Right-of-Way line to Right-of-Way line.

PAVEMENT WIDTH _____

COMMERCIAL OR RESIDENTIAL DESIGNATION _____
Commercial (C) indicates that the thoroughfare is typically located on predominately commercial frontages and uses. Commercial thoroughfares have continuous sidewalks from right-of-way to curb.

Residential (R) indicates that the thoroughfare is typically located on predominately residential frontages and uses. Residential thoroughfares have landscaped parkways.

ILLUSTRATION 8.09 THOROUGHFARE CROSS-SECTION



THOROUGHFARE GUIDELINES : 90-1811 REAR ALLEY RA-20-12-R

TABLE 90-1811 THOROUGHFARE ATTRIBUTES

THOROUGHFARE TYPE:	REAR ALLEY
CONTEXT AREA ASSIGNMENT:	CN
RIGHT-OF-WAY WIDTH:	20 FEET
PAVEMENT WIDTH:	12 FEET
MOVEMENT:	SLOW MOVEMENT
TRAFFIC LANES:	NOT APPLICABLE
PARKING LANES:	NONE
WALKWAY TYPE:	NONE
PLANTER TYPE:	NONE
CURB TYPE:	INVERTED CROWN
LANDSCAPE TYPE:	NONE
MULTIMODAL PROVISION:	NOT APPLICABLE

This thoroughfare type is a rear alley that serves residential uses. It provides service access to the rear of residential buildings, including parking access, garage and carriage house access and trash removal service.

The thoroughfare does not have curb and gutter and instead accommodates storm water with an inverted crown that drains in the center of the alley.

Parking is not permitted within the alley right-of-way except for residential driveways that access the alley, which may allow automobile parking on the driveway within the right-of-way provided that the auto does not extend onto the alley pavement.

Alleys do not accommodate bicycle traffic or pedestrian traffic.

THOROUGHFARE KEY

THOROUGHFARE KEY ST-66-36-C

THOROUGHFARE TYPE

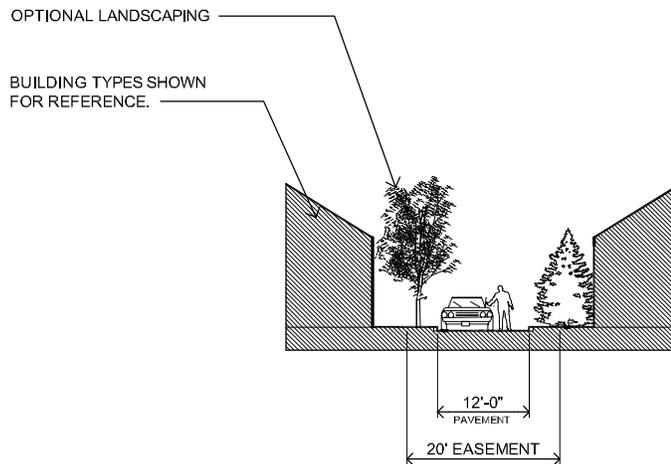
- AV Avenue with Median
- ST Street
- YS Yield Street
- RA Rear Alley

RIGHT-OF-WAY WIDTH _____
Measured from Right-of-Way line to Right-of-Way line.

PAVEMENT WIDTH _____

COMMERCIAL OR RESIDENTIAL DESIGNATION _____
Commercial (C) indicates that the thoroughfare is typically located on predominately commercial frontages and uses. Commercial thoroughfares have continuous sidewalks from right-of-way to curb.
Residential (R) indicates that the thoroughfare is typically located on predominately residential frontages and uses. Residential thoroughfares have landscaped parkways.

ILLUSTRATION 8.10 THOROUGHFARE CROSS-SECTION



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90-1900 PURPOSE

The purpose of this Division is to regulate and ensure the provision of parking spaces and access drives are designed for motor vehicles and bicycles. The Division also provides options for adjusting parking requirements and providing parking alternatives. These standards ensure that the parking needs of new land uses and development are met, while being designed and located in a manner consistent with the City of Wyoming Land Use Plan.

90-1901 APPLICABILITY

The regulations of this Division apply to off-street parking and landscaping located in the Form Based Code.

- A. Whenever use of a building or lot is changed to another classification of use, off-street parking facilities shall be provided as required by this Division.
- B. If the intensity of use of any building (other than a single- or two-family residence) or lot is increased, through the addition of floor area, increase in seating capacity, number of employees or other means, additional off-street parking shall be provided for such increase in intensity of use.

90-1902 MAXIMUM OFF-STREET PARKING SPACES

The maximum number of required off-street parking spaces shall be provided and maintained on the premises or as otherwise allowed by this article, on the basis of the following and the specific requirements of Section 90-600 in Article 6.

- A. When units or measurements determining the number of required parking spaces result in a fraction over one-half, a full parking space shall be required.
- B. In the case of a use not specifically mentioned, the requirement for off-street parking facilities for a specified use which is most similar shall apply, as determined by the city planner.
- C. Each twenty-four (24) inches of bench, pew or similar seating facilities shall be counted as one seat.
- D. Where parking requirements are based upon maximum seating or occupancy capacity, the capacity shall be as determined by the Building Code and the Fire Code.

90-1903 MODIFICATION OF PARKING REQUIREMENTS

Parking space requirements may be reduced by no more than fifty (50) percent (except as provided in the bicycle reduction in D.2.) as part of the site plan approval by the site plan review authority, based upon one or more of the following conditions:

- A. Shared Parking with Staggered Peak Periods. Where a mix of land uses on two (2) or more adjacent lots create staggered peak periods of parking demand, the on-site parking requirements for the adjacent lots may be reduced subject to the following:
 - 1. Shared parking areas shall be located within three hundred (300) feet of the use.
 - 2. Pedestrian connections shall be maintained between the buildings or uses.
 - 3. Lots shall be adjacent and shall be interconnected for vehicular passage.
 - 4. A shared parking agreement shall be submitted.
 - 5. For shared parking with places of worship, the other uses shall not normally operate between the hours of 6:00am and 6:00pm on Sundays.
- B. Mixed Use Buildings. Where one (1) mixed use building on one (1) lot creates staggered peak periods of parking demand, the on-site parking requirements for the single lot may be reduced subject to the following:
 - 1. Mixed Use Building Type shall have different uses on multiple floors that create a staggered demand.
- C. Expectation of walk-in trade due to sidewalk connections to

adjacent residential neighborhoods or employment centers. In allowing a parking space reduction, the site design shall incorporate pedestrian connections to the site and on-site pedestrian circulation providing safe and convenient access to the building.

- D. Availability of other modes of travel. To qualify, the site plan must incorporate transit stops, pedestrian connections to nearby transit stops, or bicycle parking facilities, as applicable.
 - 1. Transit reduction. Structures or uses shall be within three-hundred (300) feet of a transit stop. The Rapid shall verify in writing that the transit stop is in a permanent location.
 - 2. Bicycle reduction. Parking requirements may be reduced by one (1) space for every four (4) covered, secure bicycle parking spaces that are provided on site. Parking requirements may be further reduced by four (4) spaces where free showers are available for employee use within the building.
- E. Where the applicant has provided a parking study, conducted by a qualified professional, that demonstrates that another standard would be more appropriate based on actual number of employees or expected level of customer traffic. Actual counts at a similar establishment provided by the applicant may also be acceptable.
- F. A parking study may be required as part of site plan review to document that any one of the criteria A. through D. above would be met.

90-1904 PARKING EASEMENTS AND AGREEMENTS

- A. Written easements that provide for continued use and maintenance of shared parking shall be submitted to the site plan review authority for review and approval. Any agreement shall include provisions to address changes in use.
- B. Shared parking leases or agreements shall have a term of not less than five (5) years, including any renewals at the option of the lessee.
- C. Should the agreement be voided or expire for any reason, the uses utilizing the shared parking facility shall provide all required parking spaces in accordance with the requirements of this article, or shall be in violation thereof.

90-1905 BANKED PARKING

- A. Where a reduction in the number of parking spaces is not warranted but an applicant demonstrates that the parking requirements for a proposed use would be excessive, the site plan review authority may defer ("bank") some of the required parking. The site plan shall designate portions of the site for future construction of the required parking spaces. This banked area shall be maintained in a landscaped appearance and not be located within required greenbelts or parking lot setback areas and shall not be used for any other purpose.
- B. The site plan shall show the area proposed to be banked, with all required site plan elements, but shall indicate with hatching, dashed lines, or other means the area to be banked. The site plan shall include parking space requirements, with the number of spaces required, number proposed at initial construction, and number of spaces banked.
- C. Construction of part or all of the additional spaces designated for the banked parking area may be initiated by the owner or required by the city, based on parking needs or observation of parking deficiencies, and shall require administrative approval of an amended site plan.

CHANGES ON THIS PAGE

90-1906 OFF-STREET PARKING FACILITY DESIGN

- A. Off-street parking location and setbacks. Off-street parking lots shall meet the setback requirements (Refer to **Illustration 9.01**) of the Building Type that they are servicing, as follows:
 1. Principal Frontage Parking. Off-street parking is prohibited along Principal Frontages. Refer to **Illustration 9.01**.

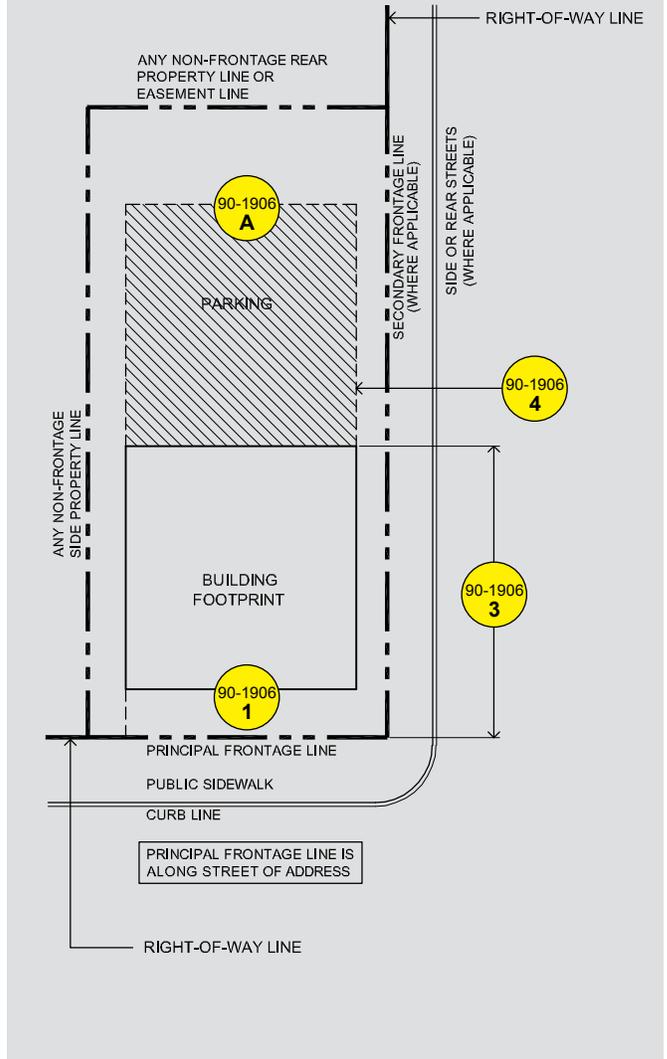
Exception: Off-street parking is permitted in conjunction with Retail Building Type in Corridor Edge Context Area. Refer to Section 90-1608 in Division 6.

2. Principal Frontage Parking Access. Access drives along Principal Frontages are discouraged. If Principal Frontage Access is required by site limitations, shared access is strongly encouraged.
3. Secondary Frontage Parking and Access. Off-street parking and access is prohibited along the first forty (40) feet of Secondary Frontages, measured from the Principal Frontage Line. Refer to **Illustration 9.01**.
4. Secondary Frontage. Parking lots located adjacent to Secondary Frontages shall not extend past the building wall and are required to have a parking lot landscape screen per Section 90-1914. Refer to **Illustration 9.01**.
5. In cases where two different Building Types are using a shared parking lot, the more restrictive setback requirements shall be used.
6. Off-street parking areas shall be separated at least ten (10) feet from buildings in order to make room for a sidewalk, landscaping, and other planting between the building and the parking area.

Exception: This separation may be eliminated to the rear of buildings in areas designed for unloading and loading.

- B. Off-street parking facilities required for all uses shall be located on the same lot or within 300 feet of the use(s) they are intended to serve, as measured from the nearest point of the parking facility to the nearest entry of the building(s) served.
- C. Off-street parking facilities required for single- and two-family dwellings shall be located on the same lot or parcel as the building they are intended to serve, and shall consist of a driveway and/or garage. All residential driveways shall provide a minimum width of at least eight feet. Driveways must be paved and shall be set back at least one (1) foot from adjoining side lot lines. All parking spaces shall be paved and no more than one parking space shall be located within the required front yard. Additions to existing single- and two-family dwellings shall not require the paving of an unpaved driveway.

ILLUSTRATION 9.01 OFF-STREET PARKING



CHANGES ON THIS PAGE

90-1907 PARKING CONSTRUCTION AND DEVELOPMENT

For parking construction and development refer to Section 90-601(2).

90-1908 PARKING STRUCTURES

- A. Dimensional requirements. Parking stall and driving aisles shall meet the minimum dimensional requirements of Section 90-601 (2)(c).
- B. Internal arrangement. Internal arrangement and design shall be approved by the city engineer for appropriate grades, traffic circulation, aisle length, column spacing, ceiling height, exit stairwell and elevator location.
- C. Access points/lanes. Storage areas for entering and exiting traffic should be long enough to minimize backups of traffic onto surrounding streets or within the garage.

- D. Lighting and security. Adequate lighting is necessary for the safe movement of vehicles and pedestrians and for the security of patrons and parked vehicles.
- E. Location and setback requirements. Parking structures shall be set back the same distance as required for the Building Type that they are serving.
- F. Ground Level Active Use. An active use is required at the ground level of the parking facility where the structure abuts a Principal or Secondary Frontage.
- G. Active Use. Space for the active use shall have a minimum depth of thirty (30) feet and minimum width not less than eighty (80) percent of the building frontage on Principal Frontages and not less than fifty (50) percent of the building frontage on the Secondary Frontages.

- H. Liner Building. In lieu of an active use on the ground level, a parking structure may be paired with a liner building at Principal and Secondary Frontages. Liner buildings may be one (or a combination of) the following Building Types.
 1. Mixed Use Building Type
 2. Live-Work Building Type
 3. Apartment Building Type
 4. Rowhouse Building Type
- I. Architecture. Parking structures shall be architecturally compatible with the buildings they serve.

90-1909 PARKING FACILITY MAINTENANCE

For parking facility maintenance refer to Section 90-601(4).

90-1910 LIMITATIONS ON USE OF PARKING LOTS

For limitations on use of parking lots refer to Section 90-601(5).

90-1911 OFF-STREET LOADING REQUIREMENTS

For off-street loading requirements refer to Section 90-602.

90-1912 DRIVEWAY ACCESS MANAGEMENT

For driveway access management refer to Section 90-603.

90-1913 PARKING LOT LANDSCAPING

In order to provide a more aesthetic appearance, a measure of shading, increased oxygen generation, and reduced air pollution, wherever site plan approval is required in this chapter, part of that approval shall include a parking lot landscaping plan unless waived by the City Planner under the provisions of Section 90-504 of this Zoning Code. The applicable parking lot landscaping plan requirements are detailed in Table 90-504 (e) of this Zoning Code. The following standards shall apply for all required landscaping:

- A. Parking Lot Landscape Screen. Parking lots located adjacent to Secondary Frontages shall have one (1) of the following landscape screens located at the Secondary Frontage Line.
 1. Wall Screen. Walls used as a screening device shall be constructed of permanent, low-maintenance materials such as concrete, brick, or architectural block. Such screens shall have minimum eighty (80) percent opacity. Wire or chain link fencing, painted or stained wood screens and unpatterned or unpainted concrete or concrete block shall not be permitted. Walls shall avoid a blank and monotonous appearance by using decorative patterns or architectural elements such as piers, pilasters or breaks in the wall. Walls used as screens shall not be less than thirty-six (36) inches nor greater than forty-eight (48) inches in height. A wall used as a screen may be placed at the lot line. A two (2) foot minimum buffer shall be provided between the wall and the parking or loading area to accommodate the overhang of cars and protect the wall wherever cars are likely to park adjacent to the wall. Walls may be used in conjunction with the Landscape Buffer in Subsection A.4. below.
 2. Fence with Landscape Buffer. A decorative fence shall be installed at the lot line and shall be used in conjunction with the landscape buffer described in Subsection A.4. below. The fence shall be constructed of painted decorative elements between thirty six (36) and forty eight (48) inches in height. Wire or chain link fencing shall not be permitted adjacent to public rights-of-way.

- 3. Landscape Hedge Buffer. A minimum five (5) foot wide landscape buffer, consisting of ornamental grasses, hedges, shrubbery, or other planted materials shall be provided. The buffer shall have a minimum height of three (3) feet when planted, and shall be maintained to form a minimum visual screen of a maximum of four (4) feet in height with eighty (80) percent summer opacity within two (2) years after planting. Planting boxes or raised planters, constructed of materials acceptable under Wall Screens in Subsection A.1. above may be used, provided the height and opacity of such elements meet the criteria established within this Subsection.

- 4. Landscape Buffer (in conjunction with decorative fence). A minimum two (2) foot wide landscape buffer shall be provided in addition to the requirements of a fence as described in Subsection A.2. above. The landscape buffer shall be placed between the fence and the lot line. Groundcover, ornamental grasses, annual or perennial flowers, shrubs, trees or a combination thereof may be used to soften the appearance of the fence. Landscape Buffer may also be used with the Wall Screen described in A.1. above.

- 5. Changes in Grade. In situations where the parking area is more than three (3) feet below or above grade at the lot line, a landscape buffer having a minimum width of three (3) feet shall be provided at the grade of the sidewalk. A wall, fence, or landscape hedge shall be provided between the right-of-way and the parking area, as described in this Section. If a retaining wall is used and exposed to view from the public realm, it shall comply with the Wall Screen described in Subsection A.1. above.

- B. Parking Lots. For every twenty-five (25) parking spaces, or fraction thereof, there shall be provided an interior landscape area at least ten feet in width and twenty (20) feet in length. Said landscape area shall contain at least one shade tree, at least 2.5 inch caliper. Other landscaping treatment shall be included in the landscape area, including, but not limited to, groundcover, ornamental grasses, annual or perennial flowers, or shrubbery. Shrubby must be planted at least three feet from all sidewalks, drives and parking spaces, so as to not infringe upon same. Interior landscape areas shall be dispersed evenly throughout parking lot.

- C. Installation and Maintenance. Refer to Division 3 General Provisions for landscape installation and maintenance requirements.

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90-2000 PURPOSE

Division 10 identifies sign standards that are intended to appropriately limit the placement, type, size, construction, illumination, and number of signs allowed within a specific Context Area and to require the proper maintenance of signs. The regulations and standards of this Division are intended to be content neutral and are considered the minimum necessary to achieve a substantial government interest for public safety, aesthetics, and protection of property values. The purpose of these limitations and requirements are to:

- A. Protect the public right to receive messages and information protected by the First Amendment of the U.S. Constitution;
- B. Safeguard and protect the public health, safety, and general welfare;
- C. Promote aesthetic and environmental values of the community by providing for signs that do not impair the attractiveness of the City as a place to live, work and shop;
- D. Avoid traffic safety hazards to motorists, bicyclists, and pedestrians, caused by visual distractions and obstructions;
- E. Enable the public to locate goods, services and facilities without excessive difficulty and confusion by restricting the number and placement of signs;
- F. Provide for signs as an effective channel of communication, while ensuring that signs are aesthetically designed and proportioned in relation to adjacent structures and the structures to which they are attached;
- G. Recognize that the principal intent of commercial signs is for identification of an establishment on the premises, and not for advertising off-premises activities; and
- H. Regulate portable commercial signs in recognition of their significant negative impact on traffic safety and aesthetics.

90-2001 APPLICABILITY

- A. The regulations of this Division apply to signs located in the Form Based Code district as follows:
 - 1. Any building or parcel with a principal or secondary frontage along the Crescent Street.
 - 2. Any building or parcel with a principal or secondary frontage along a new private or platted road within the Form Based Code Area.
 - 3. Any building or parcel with a principal or secondary frontage along Michael Street south to Prairie Parkway.
 - 4. Any building or parcel with a principal or secondary frontage along Division Avenue.
- B. No person, firm, or corporation shall erect, repair, alter, relocate, display or maintain any sign which does not comply with the standards set forth in this Division, and no permit shall be issued for any such sign.

90-2002 EXEMPT SIGNS

This Division does not apply to the following signs:

- A. Signs which are not applicable per Section 90-2001.
- B. Signs which are exempt per Section 90-703.

90-2003 PROHIBITED SIGNS

The following signs shall be prohibited within the Form Based Code district:

- A. Any sign not expressly permitted.
- B. Signs prohibited per Section 90-704.
- C. Signs in the Right-of-Way. No sign, except those established and maintained by the city, county, state or federal governments, shall be located in, project into, or overhang a public right-of-way or dedicated public easement.

Exception: The following signs may be located in, project into, or overhang a public right-of-way when an encroachment permit is obtained:

- 1. Sidewalk Sign Type.
- 2. Any approved Projecting Sign Type that is attached to a building.
- 3. Any approved Awning Sign Type that is attached to a building.

90-2004 GENERAL SIGN STANDARDS

For general standards for permitted signs, see Section 90-705 of the City of Wyoming Zoning Ordinance.

90-2005 SPECIFIC SIGN REQUIREMENTS

- A. Sign Types are indicated as follows. Sign Types regulated by this Division include:
 - 1. Sign Band Signs.
 - 2. Wall Signs.
 - 3. Projecting Signs.
 - 4. Awning Signs.
 - 5. Window Signs.
 - 6. Sidewalk (Sandwich Board) Signs.
 - 7. Ground Signs.

- B. Temporary Signs. For temporary sign standards, see Section 90-708 (4) and Table 90-708-4.

90-2006 OFF PREMISE ADVERTISING

Off-premise advertising shall not be permitted.

90-2007 NONCONFORMING SIGNS

For nonconforming signs, see Section 90-710 and Section 90-1310 C.

90-2008 DANGEROUS, UNSAFE, ABANDONED AND ILLEGAL ERECTED SIGNS

For dangerous, unsafe, abandoned and illegally erected signs, see Section 90-711.

90-2009 ADMINISTRATION

For administration, see Section 90-712.

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90-2010 SIGN BAND SIGNS

The following standards apply:

1.0 Sign Band Sign Standards

- A. Sign content (letters, corporate logos, symbols or designs) may be engraved, painted, or surface mounted on the building's sign band or horizontal expression band. Sign content shall be made of materials visually compatible with the display surface.
- B. Dimensional requirements of sign band and horizontal expression band are indicated in Frontage Standards in Division 7.
- C. Sign content is not required to be placed in sign band or horizontal expression line.

2.0 Sign Band Sign Location

- A. Sign Bands Signs are permitted to be installed at the sign band or horizontal expression band above a storefront window or transom on buildings that have Storefront, Balcony, or Drive-through Private Frontage.
 - 1. At corner lot buildings, Sign Band Signs are also permitted to be installed at the sign band or horizontal expression line above storefronts or transoms at the Secondary Frontage Line.

3.0 Sign Band Sign Size and Proportion

Refer to Illustration 10.01 for graphic representation of the dimensional requirements regarding Sign Band Signs.

- A. Sign Band Sign sizes and proportions are relative to the size of the building's sign band or horizontal expression band.
- B. Vertical Placement: Sign content height shall not exceed 80% of the overall height of the sign band or horizontal expression band.
- C. Horizontal Placement: Sign content within the sign band or horizontal expression band shall not come closer than two (2) feet to the side edges of the sign band.
- D. Sign content shall not extend more than three (3) inches from the face of the sign band or horizontal expression line.

4.0 Sign Band Sign Quantity

- A. The number of Sign Band Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Sign Bands may be used in conjunction with other Sign Types.

5.0 Sign Band Sign Illumination

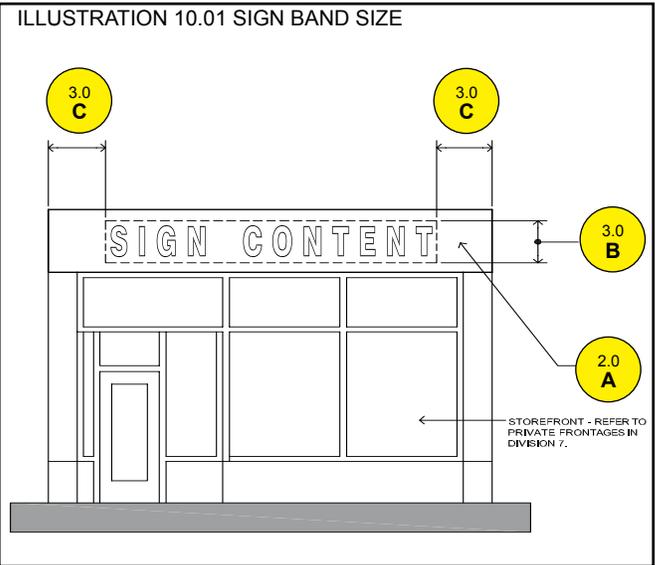
- A. Sign Band Signs may be externally illuminated per the requirements of 90-705 (5).
- B. Sign Band Signs are not permitted to be internally illuminated.
- C. Sign Band is not permitted to be illuminated with neon illumination.
- D. Sign Band is not required to be illuminated.

SIGN BAND SIGN CHARACTER EXAMPLES:



DESCRIPTION:

A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on buildings that have Storefront, Balcony, or Drive-through Private Frontages.



CHANGES ON THIS PAGE

90-2011 WALL SIGNS

The following standards apply:

1.0 Wall Sign Standards

- A. Wall Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which compliments the building's massing, scale and character.
- B. Wall Sign content may include letters, corporate logos, symbols or designs that are painted or applied to the building wall.

2.0 Wall Sign Location

Refer to Illustration 10.02 for location requirements of Wall Signs.

- A. Wall Signs are permitted on the fronts of the following buildings:
 - 1. Live / Work Building
 - 2. Apartment Building
 - 3. Civic Building
- B. Wall Signs are permitted on the sides (along Secondary Frontage Lines) of the following buildings:
 - 1. Mixed Use Building
 - 2. Zero Lot Line Retail Building
 - 3. Retail Building
 - 4. Live / Work Building
 - 5. Apartment Building
 - 6. Civic Building
- C. Wall Signs are permitted on the non-frontage backs of buildings if the building has a parking lot or alley along the non-frontage rear.
- D. Wall Signs shall be a minimum of three (3) feet above the adjacent grade.
- E. Wall Signs shall not come closer than two (2) feet to the corner of the building.

3.0 Wall Sign Size and Proportion

Refer to Table 90-2017 for sizes of Wall Signs for specific Building Types in each Context Area.

4.0 Wall Sign Quantity

- A. The number of Wall Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Wall Signs may be used in conjunction with other Sign Types.

5.0 Wall Sign Illumination

- A. Wall Signs may be externally or internally illuminated per Section 90-705 (5).
- B. Wall Signs are not permitted to be illuminated with neon illumination.
- C. Wall signs are not required to be illuminated.

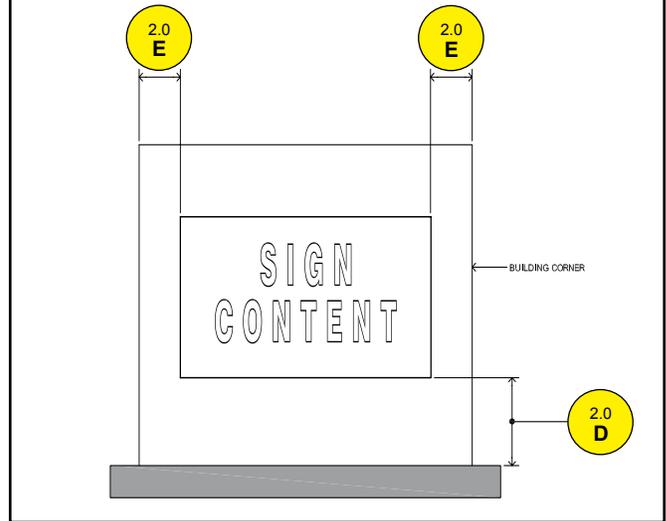
WALL SIGN CHARACTER EXAMPLES:



DESCRIPTION:

A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

ILLUSTRATION 10.02 WALL SIGN LOCATION



CHANGES ON THIS PAGE

90-2012 PROJECTING SIGNS

The following standards apply:

1.0 Projecting Sign Standards

- A. Projecting Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which compliments the building's massing, scale and character.
- B. Projecting Sign content may include letters, corporate logos, symbols, or designs that are painted, applied or surface mounted on the sign surface.
- C. Projecting Signs shall have content on both sides of the sign.
- D. Projecting Signs placed on fabric, cloth or canvas shall be securely anchored to a sign frame.

2.0 Projecting Sign Location

Refer to Illustration 10.03 for graphic representation of the location requirements regarding Projecting Signs.

- A. Projecting Signs are permitted on the fronts of the following buildings:
 - 1. Mixed Use Building
 - 2. Zero Lot Line Retail Building
 - 3. Retail Building
 - 4. Live / Work Building
 - 5. Apartment Building
 - 6. Civic Building
- B. Projecting Signs shall be a minimum of eight (8) feet above the adjacent grade.
- C. Projecting Signs shall not extend more than four (4) feet from the face of building.
- D. Projecting Signs are required to be perpendicular to the building face.

3.0 Projecting Sign Size and Proportion

Refer to Table 90-2017 for sizes of Projecting Signs for specific Building Types in each Context Area.

- A. Maximum height of Projecting Signs shall be four (4) feet.
- B. Maximum Width of Projecting Signs shall be three (3) feet.

4.0 Projecting Sign Quantity

- A. The number of Projecting Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Projecting Signs may be used in conjunction with other Sign Types.

5.0 Projecting Sign Illumination

- A. Projecting Signs may be externally or internally illuminated per Section 90-705 (5).
- B. Projecting Signs are not permitted to be internally illuminated.
- C. Projecting Signs are not permitted to be illuminated with neon illumination.
- D. Projecting Signs are not required to be illuminated.

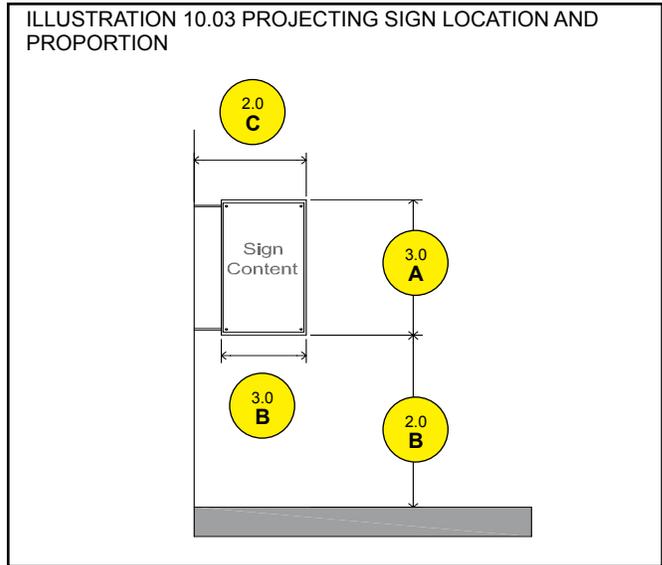
PROJECTING SIGN CHARACTER EXAMPLES:



DESCRIPTION:

A double faced sign that is attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle. Projecting signs may include logos or creative art and graphics as part of the sign composition and may be fabricated of wood, metal, fabric, or other durable material.

ILLUSTRATION 10.03 PROJECTING SIGN LOCATION AND PROPORTION



CHANGES ON THIS PAGE

90-2013 AWNING / CANOPY SIGNS

The following standards apply:

1.0 Awning / Canopy Sign Standards

A. Awning and Canopy Sign content may include letters, corporate logos, symbols, or designs that are painted, applied or surface mounted on the awning or canopy surface. Sign content on canopy signs may also be located above the canopy sign.

2.0 Awning / Canopy Sign Location

Refer to Illustrations 10.04 and 10.05 for graphic representation of the location requirements regarding Awning and Canopy Signs.

- A. Awning Signs are permitted on the fronts and sides (along Secondary Frontage Lines) of buildings above any windows and/or doors where awnings are placed.
- B. Canopy Signs are permitted on the fronts and sides (along Secondary Frontage Lines) of buildings above doors where canopies are placed.
- C. Awning and Canopies shall be a minimum of eight (8) feet above the adjacent grade.
- D. Height of awning valance shall be between eight (8) and fourteen (14) inches.
- E. Height of sign content on awning valance shall not exceed 80% of the valance height.
- F. Width of awning shall not exceed the width of the door or window that it is above.
- G. Width of sign content on awning valance shall not exceed 90% of the valance width.
- H. Area of sign content located on the shed (sloped) area of the awning shall not exceed 30% of the overall shed area.
- I. Width of canopy shall not exceed the width of the door that it is above.
- J. Sign content may be placed on or above the canopy fascia and shall not exceed 90% of the width of the canopy.
- K. Height of canopy sign content shall not exceed 90% of the height of the canopy.

3.0 Awning / Canopy Sign Size

Refer to Table 90-2017 for sizes of Awning and Canopy Signs for specific Building Types in each Context Area.

4.0 Awning / Canopy Sign Quantity

- A. The number of Awning and Canopy Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Awning and Canopy Signs may be used in conjunction with other Sign Types.

5.0 Awning / Canopy Sign Illumination

- A. Awning and Canopy Signs are not permitted to be illuminated.

AWNING & CANOPY SIGN CHARACTER EXAMPLES:



DESCRIPTION:

Awning Signs may be painted, screen printed or appliquéd to the awning. Canopy Signs shall be attached upon the face or above the face of metal canopies. Awning and Canopy Signs shall be placed on canopies or awnings that are above doors and/or windows.

ILLUSTRATION 10.04 AWNING SIGN LOCATION

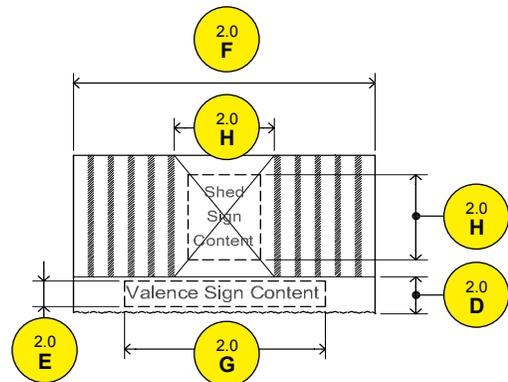
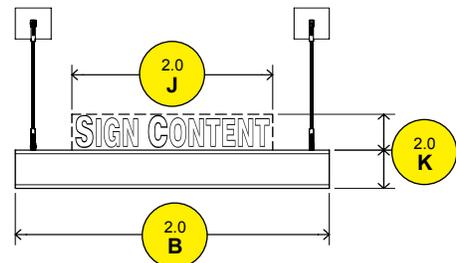


ILLUSTRATION 10.05 CANOPY SIGN LOCATION



90-2014 WINDOW SIGNS

The following standards apply:

1.0 Window Sign Standards

- A. Surface Applied Window Signs shall be professionally painted or applied letters, corporate logos, symbols or designs.
- B. Neon Tube Window Signs shall be custom neon tubes that are bent to form letters or images independent of a separate structure other than the required fastening of the neon tube. Neon channel signs are not permitted.

2.0 Window Sign Location

- A. Surface Applied Window Signs are permitted on the ground and upper floor front and side (along Secondary Frontages) windows of the following buildings:
 - 1. Mixed Use Building
 - 2. Zero Lot Line Retail Building
 - 3. Retail Building
 - 4. Live / Work Building
- B. Neon Tube Window Signs are permitted on the ground and upper floor front and side (along Secondary Frontages) windows of the following buildings:
 - 1. Mixed Use Building
 - 2. Zero Lot Line Retail Building
 - 3. Retail Building
- C. Window Signs shall be installed on the inside face of the window.

3.0 Window Sign Size and Proportion

Refer to Table 90-2017 for sizes of Window Signs for specific Building Types in each Context Area. Refer to Illustration 10.06 for graphic representation of Surface Applied Window Sign Proportions.

- A. Surface Applied Window Signs across the bottom twelve (12) inches of storefronts may cover the entire width of the storefront.
- B. Width of Surface Applied Window Signs above twelve (12) inches from the bottom of the storefront shall not exceed five (5) feet.
- C. Height of Surface Applied Window Signs above twelve (12) inches from the bottom of the storefront shall not exceed three (3) feet.
- D. Table 90-2017 indicates maximum areas of Surface Applied Window Signs.
- E. Table 90-2017 indicates maximum areas of Neon Tube Window Signs.

4.0 Window Sign Quantity

- A. The number of Window Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Window Signs may be used in conjunction with other Sign Types.

5.0 Window Sign Illumination

- A. Surface applied Window Signs are not permitted to be illuminated.

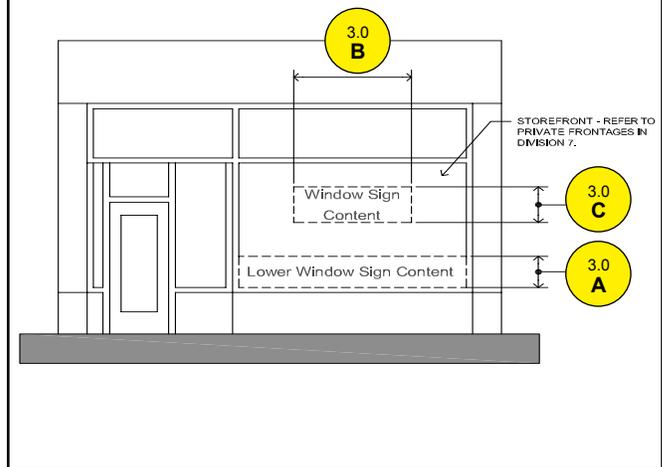
WINDOW SIGN CHARACTER EXAMPLES:



DESCRIPTION:

Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the interior of the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate "open" for business and other neon tube signs as indicated in this subsection.

ILLUSTRATION 10.06 WINDOW SIGN LOCATION AND PROPORTION



90-2015 SIDEWALK SIGNS

The following standards apply:

1.0 Sidewalk Sign Standards

- A. Sidewalk Signs may be used to announce daily specials, sales, or point to shops off the sidewalk.
- B. Sidewalk Sign content may include letters, corporate logos, symbols, or designs that are painted, applied or temporarily written on the sign surface.
- C. Sidewalk Signs shall have content on both sides of the sign.

2.0 Sidewalk Sign Location

- A. Sidewalk Signs are permitted on the sidewalks along Principal Frontages adjacent to the following buildings.
 - 1. Mixed Use Building
 - 2. Zero Lot Line Retail Building
 - 3. Retail Buildings except in Corridor Edge (CE).
- B. Sidewalk Signs shall not interfere with pedestrian travel or encroach upon the required accessible path.
- C. Sidewalk Signs shall only be displayed during business hours and shall be removed when the business is closed.

3.0 Sidewalk Sign Size and Proportion

Refer to Table 90-2017 for sizes of Sidewalk Signs for specific Building Types in each Context Area. Refer to Illustration 10.07 for graphic representation of Sidewalk Sign Proportions.

- A. Maximum height of Sidewalk Signs shall be four (4) feet.
- B. Maximum Width of Sidewalk Signs shall be three (3) feet.

4.0 Sidewalk Sign Quantity

- A. The number of Sidewalk Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Sidewalk Signs may be used in conjunction with other Sign Types.

5.0 Sidewalk Sign Illumination

- A. Sidewalk Signs are not permitted to be illuminated.

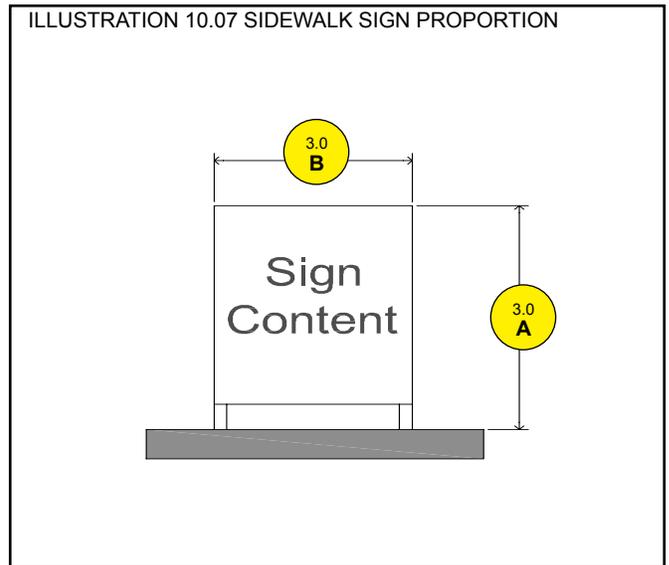
SIDEWALK SIGN CHARACTER EXAMPLES:



DESCRIPTION:

Portable Sidewalk Signs (Sandwich Board Signs) are temporary signs that are not permanently affixed to a structure or ground surface and placed on the sidewalk in front of a business during normal business hours.

ILLUSTRATION 10.07 SIDEWALK SIGN PROPORTION



90-2016 GROUND SIGNS

The following standards apply:

1.0 Ground Sign Standards

- A. Ground Signs shall be designed to be compatible with the character of the surrounding buildings and building materials in order to promote a unified design which compliments the buildings' massing, scale and character.
- B. Ground Sign content may include letters and corporate logos that are permanently affixed to the sign.
- C. Ground Sign content is not permitted to be changeable copy, except for gasoline price signs, directory signs listing more than one tenant, and signs advertising restaurant food specials, films, and live entertainment, which change on a regular basis.
- D. Ground Signs shall have content on both sides of the sign with building address clearly depicted.

2.0 Ground Sign Location

- A. Ground Signs are permitted in the front yard setback of the following buildings:
 - 1. Retail Building in Corridor Sub-Urban (CS) and Corridor Edge (CE).
 - 2. Apartment Building in Corridor General (CG), Corridor Sub-Urban (CS) and Corridor Edge (CE)
 - 3. Civic Building in Corridor Sub-Urban (CS), Corridor Edge (CE), and Corridor Neighborhood (CN).
- B. Ground Signs are permitted in the Greenbelt along 28th Street for any parcel that has property within the Greenbelt.

3.0 Ground Sign Size and Proportion

Refer to Table 90-2017 for sizes of Ground Signs for specific Building Types in each Context Area. Refer to Illustration 10.08 for graphic representation of Ground Sign Proportions.

- A. Maximum height of Ground Signs shall be eight (8) feet except multi-tenant Ground Signs may increase to ten (10) feet.
- B. Maximum width of Ground Signs shall be six (6) feet except multi-tenant Ground Signs may increase to ten (10) feet.

4.0 Ground Sign Quantity

- A. The number of Ground Signs allowed per building shall not exceed the quantities indicated in Table 90-2018.
- B. Ground Signs may be used in conjunction with other Sign Types.

5.0 Ground Sign Illumination

- A. Ground Signs may be externally or internally illuminated per Section 90-705 (5).
- B. Ground Signs are not required to be illuminated.

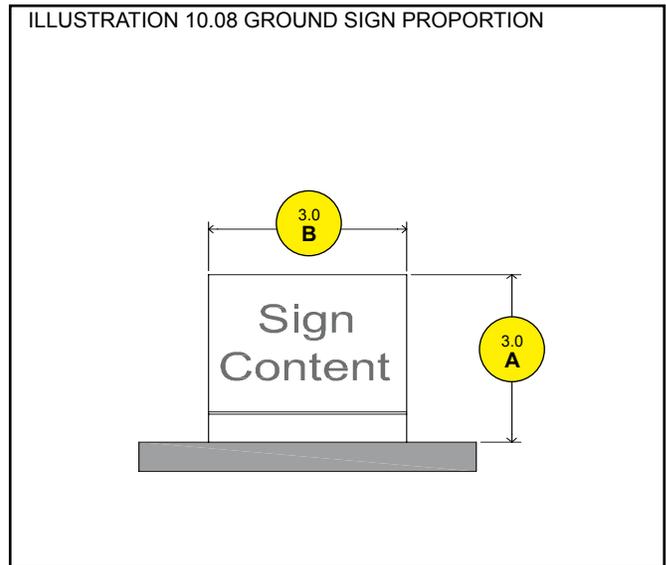
GROUND SIGN CHARACTER EXAMPLES:



DESCRIPTION:

A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

ILLUSTRATION 10.08 GROUND SIGN PROPORTION



CHANGES ON THIS PAGE

ARTICLE 11 DIVISION 10

90-2017 SIGN SIZES

TABLE 90-2017 SIGN SIZE Maximum Sign Size Permitted (refer to Table 90-2018 for quantity of signs permitted)							
Sign Type	Building Type	Corridor Center (CC)	Corridor Urban (CU)	Corridor General (CG)	Corridor Sub-Urban (CS)	Corridor Edge (CE)	Corridor Neighborhood (CN)
Sign Bands	Mixed Use Building	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.			
	Zero Lot Line Retail Building	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.			
	Retail Building <i>(with Storefront or Drive-through Private Frontages ONLY)</i>			Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	Sign shall fit within the sign band or horizontal expression band per the Sign Band Sign standards in Division 10.	
Wall Signs	Mixed Use Building	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 32 square feet.	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 32 square feet.	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 48 square feet.			
	Zero Lot Line Retail Building	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 32 square feet.	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 32 square feet.	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 48 square feet.			
	Retail Building			One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 48 square feet.	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 60 square feet.	One (1) square foot for every one (1) linear foot of ground level tenant space fronting on a Principal or Secondary Frontage Line. Not to exceed 60 square feet.	
	Live / Work Building			12 square feet	12 square feet	12 square feet	
	Apartment			24 square feet	24 square feet	24 square feet	
	Civic Building	24 square feet	24 square feet	32 square feet	32 square feet	32 square feet	12 square feet
Projecting Signs	Mixed Use Building	8 square feet per side	8 square feet per side	12 square feet per side			
	Zero Lot Line Retail Building	8 square feet per side	8 square feet per side	12 square feet per side			
	Retail Building			12 square feet per side	12 square feet per side	12 square feet per side	
	Live / Work Building			8 square feet per side	8 square feet per side	8 square feet per side	
	Apartment			12 square feet per side	12 square feet per side	12 square feet per side	
Awning and Canopy Signs	Mixed Use Building	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.			
	Zero Lot Line Retail Building	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.			
	Retail Building			Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	
	Live / Work Building			Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	
	Apartment			Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	Sign shall fit within the awning or canopy per the Awning & Canopy Sign standards in Division 10.	

Building Type is not permitted within Context Area.

90-2017 SIGN SIZES, CONT.

TABLE 90-2017 SIGN SIZE (CONTINUED) Maximum Sign Size Permitted (refer to Table 90-2018 for quantity of signs permitted)							
Sign Type	Building Type	Corridor Center (CC)	Corridor Urban (CU)	Corridor General (CG)	Corridor Sub-Urban (CS)	Corridor Edge (CE)	Corridor Neighborhood (CN)
Surface Applied Window Signs	Mixed Use Building	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.			
	Zero Lot Line Retail Building	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.			
	Retail Building			Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 25% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 25% of the total glass area of the window.	
	Live / Work Building			Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	Signs above 12" from the bottom of window. Not to exceed 15% of the total glass area of the window.	
Neon Tube Window Signs	Mixed Use Building	6 square feet per window (ground floor and upper floors)	6 square feet per window (ground floor and upper floors)	6 square feet per window (ground floor and upper floors)			
	Zero Lot Line Retail Building	6 square feet per window	6 square feet per window	6 square feet per window			
	Retail Building			6 square feet per window	8 square feet per window	8 square feet per window	
	Live / Work Building			6 square feet per window (ground floor only, neon tube sign not permitted on upper floors)	6 square feet per window (ground floor only, neon tube sign not permitted on upper floors)	6 square feet per window (ground floor only, neon tube sign not permitted on upper floors)	
Sidewalk Signs	Mixed Use Building	6 square feet per side	6 square feet per side	6 square feet per side			
	Zero Lot Line Retail Building	6 square feet per side	6 square feet per side	6 square feet per side			
	Retail Building			6 square feet per side	6 square feet per side	Not permitted in Context Area	
Ground Signs	Retail Building			36 square feet per side, except multi-tenant signs are permitted up to 80 square feet per side	36 square feet per side, except multi-tenant signs are permitted up to 80 square feet per side	36 square feet per side, except multi-tenant signs are permitted up to 80 square feet per side	
	Apartment			24 square feet per side	24 square feet per side	24 square feet per side	
	Civic Building		24 square feet per side	24 square feet per side			

 Building Type is not permitted within Context Area.

90-2018 SIGN QUANTITY

TABLE 90-2018 SIGN QUANTITY Signs permitted per Building Type and Context Area (refer to Table 90-2017 for size of signs permitted)							
Sign Type	Building Type	Corridor Center (CC)	Corridor Urban (CU)	Corridor General (CG)	Corridor Sub-Urban (CS)	Corridor Edge (CE)	Corridor Neighborhood (CN)
Sign Bands	Mixed Use Building	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages			
	Zero Lot Line Retail Building	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages			
	Retail Building (with Storefront or Drive-through Private Frontages ONLY)			One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	One (1) sign per sign band or horizontal expression band. May be on facades facing Primary and Secondary Frontages	
Wall Signs	Mixed Use Building	One (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building side (along Secondary Frontage Lines)			
	Zero Lot Line Retail Building	One (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building side (along Secondary Frontage Lines)			
	Retail Building			One (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building side (along Secondary Frontage Lines)	
	Live / Work Building			One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	
	Apartment			One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	
	Civic Building	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)	One (1) sign per building front and one (1) sign per building side (along Secondary Frontage Lines)
Projecting Signs	Mixed Use Building	One (1) sign per entry	One (1) sign per entry	One (1) sign per entry			
	Zero Lot Line Retail Building	One (1) sign per entry	One (1) sign per entry	One (1) sign per entry			
	Retail Building			One (1) sign per entry	One (1) sign per entry	One (1) sign per entry	
	Live / Work Building			One (1) sign per entry	One (1) sign per entry	One (1) sign per entry	
	Apartment			One (1) sign per entry	One (1) sign per entry	One (1) sign per entry	
Awning and Canopy Signs	Mixed Use Building	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.			
	Zero Lot Line Retail Building	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.			
	Retail Building			One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	
	Live / Work Building			One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	
	Apartment			One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	One (1) sign per awning or canopy per the requirements of the Awning & Canopy Sign Type in Division 10.	

90-2018 SIGN QUANTITY, CONT.

TABLE 90-2018 SIGN QUANTITY (CONTINUED) Signs permitted per Building Type and Context Area (refer to Table 90-2017 for size of signs permitted)

Sign Type	Building Type	Corridor Center (CC)	Corridor Urban (CU)	Corridor General (CG)	Corridor Sub-Urban (CS)	Corridor Edge (CE)	Corridor Neighborhood (CN)
Surface Applied Window Signs	Mixed Use Building	One (1) sign per storefront or window.	One (1) sign per storefront or window.	One (1) sign per storefront or window.			
	Zero Lot Line Retail Building	One (1) sign per storefront.	One (1) sign per storefront.	One (1) sign per storefront.			
	Retail Building			One (1) sign per storefront.	One (1) sign per storefront.	One (1) sign per storefront.	
	Live / Work Building			One (1) sign per ground floor window.	One (1) sign per ground floor window.	One (1) sign per ground floor window.	
Neon Tube Window Signs	Mixed Use Building	One (1) sign per building.	One (1) sign per building.	One (1) sign per building.			
	Zero Lot Line Retail Building	One (1) sign per building.	One (1) sign per building.	One (1) sign per building.			
	Retail Building			One (1) sign per building.	One (1) sign per building.	One (1) sign per building.	
	Live / Work Building			One (1) sign per building.	One (1) sign per building.	One (1) sign per building.	
Sidewalk Signs	Mixed Use Building	One (1) sign per ground floor tenant.	One (1) sign per ground floor tenant.	One (1) sign per ground floor tenant.			
	Zero Lot Line Retail Building	One (1) sign per ground floor tenant.	One (1) sign per ground floor tenant.	One (1) sign per ground floor tenant.			
	Retail Building			One (1) sign per ground floor tenant.	One (1) sign per ground floor tenant.	Not permitted in Context Area	
Ground Signs	Retail Building			One (1) sign per building.	One (1) sign per building.	One (1) sign per building.	
	Apartment			One (1) sign per building.	One (1) sign per building.	One (1) sign per building.	
	Civic Building		One (1) sign per building.	One (1) sign per building.	One (1) sign per building.	One (1) sign per building.	One (1) sign per building.

 Building Type is not permitted within Context Area.

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i	Introduction	1	Title, Purpose & Scope	2	Applicability & Procedures	3	General Provisions	4	Context Areas & Use	5	Subdivision & Access	6	Building Types
7	Private Frontages	8	Thoroughfare Guidelines	9	Off-Street Parking	10	Sign Standards	11	FBC Definitions	City of Wyoming Zoning Ordinance			

90-2100 APPLICABILITY

The following terms are defined for the purpose of the City of Wyoming Form Based Code.

In instances where terms are not defined here, they may be defined elsewhere in the existing municipal zoning ordinances. In such cases the definitions contained within the existing zoning ordinances shall be used for the administration of the City of Wyoming Form Based Code.

In instances where terms are defined in both the existing ordinances and here, the definitions here shall prevail for the administration of the City of Wyoming Form Based Code.

A**DEFINITIONS “A”**

Active Use: A use at the street level of a building that allows physical and visual activity to occur between the inside of the building and the sidewalk area. A group of buildings with active street level uses will generate pedestrian activity on the sidewalk and vehicular activity in the thoroughfare. Typical active uses include retail and restaurants at the street level.

Adjacent Grade: The exterior grade immediately adjacent to the building or structure from which measurements shall be taken.

Alley: Refer to Rear Alley.

Apartment Building Type: A lot located and designed to accommodate a multi-story building with multiple dwelling units above and beside each other.

Architectural Elements: Elements of a building that may project from the façade into the required setbacks, beyond the build-to-zones or into the public right-of-way as indicated in Division 3: Encroachments. These include balconies, awnings, canopies, eaves, cornices, bays, and projecting signs.

At-Grade Entry: An entry door that has a zero-step entrance.

At-Grade Frontage: The at-grade is a frontage type placed along the Principal Frontage line in a build-to-zone. It provides an at grade (zero step) entry into residentially scaled buildings and may be associated with lobby buildings (such as apartments).

Attic: An interior space of a building that has only a single floor of habitable space and that occurs within the pitched roof structure, whether conditioned or not. Attic space is typically not among the number of stories regulated by Context Area or Building Type, unless otherwise noted.

Awning: A retractable or fixed shelter projecting from and supported by the exterior wall of a building and constructed of non-rigid materials on a supporting framework.

Awning Sign: A sign that typically includes letters, logos, symbols and/or designs that is integrated into an awning.

B**DEFINITIONS “B”**

Balcony: An open outdoor portion of an upper floor.

Balcony Private Frontage: The balcony is a frontage type placed along the Principal Frontage line. It is typically associated with mixed use buildings. The frontage combines an upper balcony that is recessed into the building mass with a storefront at the first story. The storefront portion of this frontage shall be designed in a way that promotes an attractive, convenient shopping experience.

Basement: An interior space of a building that has more than one half (1/2) of its height below grade.

Bay or Bay Window: An interior portion of an upper floor extending beyond the building's exterior wall plane that is not supported from below by vertical columns or piers.

Building Façade: The exterior walls of a building that face either a principal or secondary frontage line.

Building Footprint: The shape and placement of the ground floor of a structure on the parcel.

Building Footprint, Condominium Site: The area of the condominium site within which the main building or structure may be constructed as described in the master deed for the site condominium project.

Building Height: Refer to Height, Building.

Building To Line: A measurement that defines the edge in which the building walls that face frontage lines are required to be built to. When a build-to-line is indicated on a building type, it is a requirement and not a permissive minimum as is a set back line.

Build To Zone: A measurement that defines the range (or zone) in which building walls that face frontage lines are required to be located within. When a build-to-zone is indicated on a building type, it is a requirement that the building walls are constructed within this range.

Building Type: Building Types describe the various forms of buildings that are allowable in the City of Wyoming Form Based Code. Each building type has its own specific massing, composition, site placement (disposition), and vertical dimension that create its unique attributes. Building Types are regulated in Division 6 and are allowable within various Context Areas.

Building Composition: The essential architectural characteristics that define a specific Building Type.

C**DEFINITIONS “C”**

Canopy: A fixed shelter projecting from and supported by the exterior wall of a building and constructed of metal or other rigid materials.

Canopy Sign: A sign that typically includes letters, logos, symbols and/or designs that is integrated into a canopy.

Civic Building: Civic buildings contain uses of special public importance. Civic buildings include, but are not limited to municipal buildings, churches, libraries, and schools, and do not contain retail, residential or private office uses. Civic buildings are not required to meet the building type standards or the private frontage standards of the City of Wyoming Form Based Code. Civic buildings are typically sited in locations of prominence, such as corners of major intersections, terminating a street vista or overlooking or within a civic space. The design of these building types is encouraged to allow greater flexibility and distinctive architectural expression so that they can become landmarks.

Civic Space: An outdoor area dedicated to public use that is strategically placed to facilitate use by the surrounding community.

Clear Glass: Refer to Glass, Clear.

Context Area: Administratively similar to zoning districts in conventional codes, except that they integrate form-based elements, including Building Type, public realm standards, and Thoroughfare Type into the regulation.

DEFINITIONS

Cornice Expression Line: An architectural feature on buildings that acts as an upper termination or capital for the overall composition of the building.

D

DEFINITIONS “D”

Departure: A Minor or Major modification to selected Form Based Code requirements, refer to Division 2, Tables 90-1203a and 90-1203b.

Drive-through Frontage: The drive-through is a frontage that is identical to the storefront frontage type, however it includes an automobile drive-through at the rear or non-frontage side yards. The drive-through may include a covered structure at the service window location. The frontage is typically associated with retail and mixed use buildings and includes a storefront that is designed in a way that promotes an attractive, convenient shopping experience. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Drive-through Zone: The area (or zone) in which a drive-through is permitted to be placed on a site. Drive-through zones are part of requirements of the Drive-Through Private Frontage.

E

DEFINITIONS “E”

Eave: The projecting overhang along the sloped edge of a pitched roof.

F

DEFINITIONS “F”

Façade: Refer to Building Façade.

Fascia: Horizontal board that terminates an eave edge of a sloped or pitched roof.

Finish Ceiling: The ceiling surface, usually installed over building structure or hung from the structure, which provides the completed ceiling surface.

Finish Floor: The floor, usually laid over a subfloor, which provides the completed floor surface.

Form Based Code Area: The area on the City of Wyoming Zoning Map (located in Chapter 90 of the City Zoning Ordinance) that is designated as Form Based Code Districts. Parcels located in the Form Based Code Area are regulated by the Wyoming Form Based Code.

Frontage: The length of any side of a building which fronts on either a Principal Frontage Line or a Secondary Frontage Line.

Frontage line, Principal: The property lines of a parcel that are public right-of-way lines along the street of address for the parcel or building.

Frontage line, Secondary: The property lines of a parcel that are either a public right-of-way line or directly adjacent to a public right-of-way that are not along the street of address for the parcel or building.

Furnishing Zone: The area of the right-of-way that contains planting strips, tree wells, planters, street lighting, sidewalk furniture, seating sidewalk signs, and other amenities.

G

DEFINITIONS “G”

Glass, Clear: Glass having a Visual Light Transmittance (VLT) of seventy (70) percent minimum. Heavily tinted or reflective glass shall not be considered clear.

Greenbelt: A twenty-five (25) foot deep landscaped area that is required at frontages along 28th Street. Refer to Division 3.

Ground Cover: Grass, vegetative cover, or other living landscape.

Ground Sign: A free-standing sign mounted directly on the ground, on a base or supported by short poles. Not attached directly to a building or wall.

H

DEFINITIONS “H”

Height, Building: The number of stories allowed by either the Building Type and/or the Context Area, with actual measurement of individual stories determined according to specific building types in Division 6.

Horizontal Expression Band: An architectural element on buildings that acts as a horizontal upper termination for the Storefront Private Frontage. Horizontal Expression Lines extend the entire width of the building facade above a storefront and may contain signs. Synonymous with Sign Band.

I

DEFINITIONS “I”

Impervious surface: Any hard surfaced, man-made area that does not readily absorb or retain water including but not limited to building roofs, parking and driveway areas, sidewalks and streets.

J

DEFINITIONS “J”

No definitions for this section.

K

DEFINITIONS “K”

No definitions for this section.

L

DEFINITIONS “L”

Lightwell: A component of the Lightwell Private Frontage that is recessed below the adjacent grade in order to provide a landing and access to the basement from the sidewalk. Typically used in association with a terrace. Refer to Terrace definition.

Lightwell Private Frontage: The lightwell is a frontage type placed along the Principal Frontage line in a build-to-zone. It has separate stairs that connect a lower level entrance (lightwell) and an upper level entrance (terrace) to the public sidewalk. This allows direct access to the first story and a partially exposed basement. Commonly used on attached buildings, this frontage may also provide outdoor seating opportunities at both the terrace and lightwell locations.

CHANGES ON THIS PAGE

Liner Building: A specialized building that is designed to conceal a parking structure or parking lot. The liner building may be an independent building or may be physically attached to a parking structure so that parking may be accessed directly from floor to floor between the building and structure.

Live / Work Building Type: A lot located and designed to accommodate an attached or detached building with integrated residence and commercial space utilized by a single-family household. The ground floor is designed to accommodate commercial uses with a single residence in the upper stories, although ground floor may also accommodate residential uses.

Lot Coverage: The percentage of the lot that is taken up by buildings.

M

DEFINITIONS “M”

Mandatory: Refer to required.

Massing: The scale and proportions of a building or object.

Mixed Use Building Type: A lot located and designed to accommodate a multi-story building with multiple dwelling units in the upper story and various commercial uses permitted within any story.

N

DEFINITIONS “N”

New Development: Development occurring on a vacant parcel of land.

Nonconforming sign:

1. A sign that is prohibited under the terms of this Article, but was erected lawfully and was in use on the date of enactment of this Article, or amendment thereto; or
2. A sign that does not conform to the requirements of this Article, but for which a variance has been granted.

Non-frontage line: The property lines of a parcel that are not a right-of-way line or directly adjacent to a public right-of-way.

O

DEFINITIONS “O”

Optional: A feature or element that is not required, but may be provided on the project at the applicant’s discretion.

Outdoor Seating: Patio, terrace, walkway, sidewalk, lawn or garden or any other place (which is not enclosed) where seating is permitted, usually in association with a restaurant, bar or other related commercial uses.

P

DEFINITIONS “P”

Parapet: A part of the facade that extends above the roof, typically located on flat roof buildings.

Parkway: The landscaped area between the sidewalk and the curb in a thoroughfare assembly. Located within the furnishing zone of the Thoroughfare Type. Synonymous with Planting Strip.

Pedestrian Travel Zone: The sidewalk area for pedestrian travel. Typically sized for two directions of pedestrian travel.

Pilaster: A decorative or structural column that is attached to the façade of a building. Pilasters may be round, in which case they are detailed exactly like a free-standing column. Square or rectangular pilasters may be detailed in a simpler manner and sometimes are a wall projection (common in masonry buildings).

Porch: A slightly elevated partially enclosed area attached to a building and covered with a roof.

Porch Private Frontage: The porch is a frontage type placed along the Principal Frontage line(s) within a build-to-zone. Porches are open-air structures that are attached to the Principal Building, forming a covered entrance. Porch dimensions need to be such that sufficient space for furniture is provided, allowing comfortable use of the space.

Principal Entrance: The main entry to a building, located along the principal frontage line.

Principal Frontage: Refer to Frontage, Principal.

Private Frontage Type: The privately owned area between the frontage line and the building façade. Private Frontage Types are applied to Building Types to ensure that the building adequately engages the street frontage and public realm. Private Frontages are regulated in Division 6 and are assigned to Building Types in Division 7.

Projecting Sign: A double-faced sign that is attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle.

Public Realm: The area between the façade of a building and the corresponding façade of the building across the street.

Q

DEFINITIONS “Q”

No definitions for this section.

R

DEFINITIONS “R”

Rake board: The trim board along the sloping edge of a gable roof.

Rear alley: A dedicated right-of-way or easement providing access for service and parking at the rear of a parcel. Not intended for general traffic circulation.

Retail Building Type: A lot located and designed to accommodate a single-story building with various commercial uses permitted at the ground floor level. Building site placement has a variable build-to-zone at the Principal Frontage Line.

Required: An element or feature that is required to be provided on the project. Synonymous with Mandatory.

Right-of-way (ROW): An area owned or maintained by a local, county, state or federal entity, a public utility, a railroad or a private concern for the placement of utilities or facilities for the passage of vehicles or pedestrians, including roads, streets, pedestrian walkways, utilities or railroads.

Right-of-way Line: A line that forms the boundary of the right-of-way.

Rowhouse Building Type: A lot located and designed to accommodate a principal building with common walls on both side lot lines and a private yard to the rear.

DEFINITIONS

S

DEFINITIONS “S”

Scale: Refers to the size of the building, street fixture, sign or other built or constructed element.

Shopfront Private Frontage: The shopfront is a frontage type placed along the Principal Frontage line in a build-to-zone. It is typically associated with retail uses at the first story in Context Areas that have a less intense (more residentially scaled) retail environment. The shopfront is designed in a way that promotes an attractive, convenient shopping experience. Storefronts may be elevated above the adjacent grade.

Secondary Frontage: Refer to Frontage, Secondary.

Setback: The minimum horizontal distance required by this Form Based Code, measured from the front, side or rear lot line as applicable, to govern the location of buildings, structures or uses on the lot.

Sidewalk Sign: A temporary and portable sign that is not permanently affixed to a structure or ground and is placed on the sidewalk in front of a business during normal business hours. Synonymous with Sandwich Board Sign.

Sign Band: An architectural element on buildings that acts as a horizontal upper termination for the Storefront Private Frontage. Sign Bands extend the entire width of the building facade above a storefront and may contain signs. Synonymous with *Horizontal Expression Band*.

Sign Band Sign: A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom.

Single-Family House Building Type: A lot located and designed to accommodate a single-family detached building with front, rear and side yards.

Site disposition: The placement or location of a building footprint on a lot or parcel. Synonymous with Site Placement.

Stoop: A slightly elevated unenclosed area attached to a building and corresponding to a door. A stoop is always covered with a roof.

Stoop Private Frontage: The stoop is a frontage type typically placed along the Principal Frontage line, although it may also be placed in the side yard. A stoop is a small staircase leading to the entrance of a building that has a roof at the entrance. The elevation of the stoop is required to achieve privacy for residential uses on the first story.

Storefront Private Frontage: The storefront is a frontage type placed along the Principal (and sometimes Secondary) Frontage line(s). It is typically associated with retail and mixed use buildings. The storefront is designed in a way that promotes an attractive, convenient shopping experience. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Base: The knee wall located at the sidewalk that the storefront window sits on. Sometimes referred to as a bulkhead wall.

Story: The distance between any two adjacent floors or floor lines, measured as the distance between the finished floor and related finished ceiling in feet and inches. Actual story heights are regulated by building type in Division 6. Number of stories are regulated by building type and Context Area.

T

DEFINITIONS “T”

Terrace: A component of the Lightwell and Shopfront Private Frontage that is an area elevated from the adjacent grade in order to provide access and a landing to an elevated first floor. Terraces may be covered with a roof or uncovered. On Lightwell Private Frontages the terrace creates residential privacy at the first floor and allows light to enter a basement level (making that level more attractive to a variety of uses). Refer to Lightwell definition.

Thoroughfare Type: Thoroughfare Types describe the space within the public realm, between the right-of-way lines. They include the sidewalk, parkway, furnishing zones, curbs, parking lanes and travel lanes of streets, roads, and alleys.

Transom: A small horizontal window located above the storefront and entry door to allow light or air into the retail building.

Transparency: The ability to see through with clarity. An opening in a building wall allowing light and views between interior and exterior through the use of clear glass. Only clear or lightly tinted glass in windows, doors and display windows is considered clear. Heavily tinted glass or reflective glass shall not be considered clear. Interior display shelves and merchandise are not allowed to obstruct views into or out of any windows, doors or display areas that are considered part of the transparency calculation. Windows, doors and display areas provide clear views into and out of the building. Transparency is integral to the relationship of buildings and the street because of the permeable edge and dialogue that it creates between the interior and exterior of buildings. Refer to Glass, Clear.

Two-Family House Building Type: A lot located and designed to accommodate a two-family building with front, rear and side yards.

U

DEFINITIONS “U”

No definitions for this section.

V

DEFINITIONS “V”

Vertically proportioned: Typically referring to the orientation of building windows, where the height of the window is taller than the width of the window.

W

DEFINITIONS “W”

Wall Sign: A sign that is painted on, incorporated in or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

Window Sign: Any sign, picture, symbol or combination thereof, designed to communicate information about activity, business, commodity, event, sale or service that is placed on the interior of a window and which is intended to be seen by the public from the outside.

X

DEFINITIONS “X”

No definitions for this section.

Y

DEFINITIONS "Y"

Yard: The space on a lot which is unoccupied by buildings and unobstructed from the ground to the sky.

Z

DEFINITIONS "Z"

Zero Lot Line Retail Building Type: A lot located and designed to accommodate a single-story building with various commercial uses permitted at the ground floor level. Building site placement is required to have no setback at the Principal Frontage Line.

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[End of Article 11: Wyoming Form Based Code]